

Statistics

Building Areas

	Customer Service	Caretaker Unit	Caretaker Garage	Ext Access Storage	Int Access Storage	CBC Total	Ext Walls	Gross Bldg Area
Phase 1								
Building A1	1,403	152	830	7,726	5,385	15,496	664	16,160
Building A2		1,436				1,436	210	1,646
Total Building A	1,403	1,588	830	7,726	5,385	16,932	874	17,806
Building B				8,937		8,937	323	9,260
Building C1				15,260		15,260	654	15,914
Building C2				12,792	1,311	14,103	1,058	15,161
Building C3				10,798	752	11,550	437	11,987
Building D				12,939	12,142	25,081	719	25,800
Building E				8,341	16,740	25,081	719	25,800
Building F				12,939	12,142	25,081	719	25,800
Total Phase 1	1,403	1,588	830	89,732	48,472	142,025	5,503	147,528
Phase 2								
Building G				9,891	15,190	25,081	719	25,800
Building H				8,341	16,740	25,081	719	25,800
Total Phase 2				18,232	31,930	50,162	1,438	51,600
Total Project	1,403	1,588	830	107,964	80,402	192,187	6,941	199,128
Covered RV Parking A								31,815
Covered RV Parking B								28,374
Total Covered RV Parking								60,189

Site Statistics

	Provided	Required/Allowed
Total Gross Site Area	575,803 s.f. 13.22 acres	
Total Net Site Area	538,670 s.f. 12.37 acres	
Phase 1		
Floor Area Ratio	142,025 s.f. 0.26	323,202 s.f. 0.6 maximum
Building Coverage	140,589 s.f. 26.10%	
Paving Coverage	283,137 s.f. 52.56%	
Landscape Coverage	114,944 s.f. 21.34%	107,734 s.f. 20% minimum
Phase 2		
Floor Area Ratio	192,187 s.f. 0.36	323,202 s.f. 0.60 maximum
Building Coverage	190,751 s.f. 35.41%	430,936 s.f. 80% maximum
Paving Coverage	232,975 s.f. 43.25%	
Landscape Coverage	114,944 s.f. 21.34%	107,734 s.f. 20% minimum
Parking Area		
Total Parking Area	7,678 s.f.	
Parking Landscape	1,750 s.f. 22.79%	384 s.f. 5% minimum

Parking

Parking Required: 5 spaces required

Parking Provided: Full Size: 5 spaces provided
Disabled Access: 2 spaces provided
Total Provided: 8 spaces provided

Loading Required: 1 space required
Loading Provided: 1 space provided

Bicycle Parking Required: 1 space required
Bicycle Parking Provided: 1 space provided

Utilities & Services

Electric: Southern California Edison Company
287 Tennessee Street
Fidlands, Ca 92573
(909) 307-6788

Gas: Southern California Gas Company
1881 West Lugonia Avenue
Fidlands, Ca 92573
(909) 335-7836

Telephone: A&T
3839 E. Colorado Street
2nd Floor
Anaheim, Ca 92807
(714) 507-3528

Cable: Spectrum
580 South Promenade Avenue, Suite 102
Corona, Ca 92879
(951) 547-3831

Water: Western Municipal Water District
14205 Meridian Parkway
Riverside, Ca 92518
(951) 571-7207

Sewer: Western Municipal Water District
14205 Meridian Parkway
Riverside, Ca 92518
(951) 571-7207

School District: Murrieta Valley Unified School District
41870 Mealy Court
Murrieta, Ca 92582
(951) 696-1600

RV Parking Spaces

	Phase 1	RV A	RV B
12x15	2	0	0
12x20	2	1	0
12x25	2	1	1
12x30	50	31	29
12x35	48	0	0
12x40	0	31	27
12x45	2	0	0
Total	106	64	57

Storage Units:

Phase 1: 786 Units
Phase 2: 437 Units
Total: 1,223 Units

Site Notes:

Accessible Path of Travel
No abrupt changes in elevation along the path of travel shown on the drawings. The slope along the path of travel shall not exceed 5% (inspector to verify)

177 Total accessible storage spaces are provided. 443 Storage spaces are provided in Buildings A, B, D & E. All classes of storage units are provided in Buildings A, B, D & E. Self-Service storage spaces complying with Table 11b-225.3 shall not be required to be dispersed among buildings in a Multi-Building Facility. (Section 11b-225.3.1)

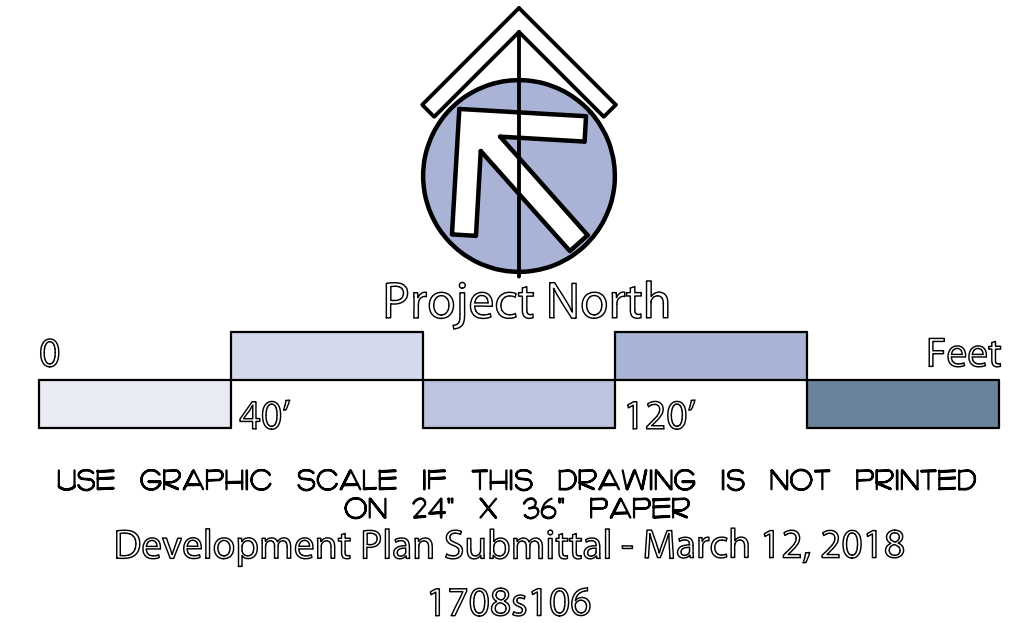
The design does not require accessible path to Storage units at other buildings as each type of Storage unit size is provided in Buildings A, B, D & E with appropriate number of accessible storage units being provided per CBC Table 11b-225 and the exception per 11b-225.3 will not require additional accessible storage spaces at other buildings.

All Buildings except for the Office/Caretaker Building are Construction Type IIB, Fully Sprinklered, Occupancy Type S-1.
Office/Caretaker Building is Construction Type VB, Full Sprinklered, Occupancy Type M & R-3 and is separated from the S-1 occupancy with a 3-hour fire wall.

Sheet Index

- A-1.1 Site Plan - Phase 1
- A-1.2 Site Plan - Phase 2
- A-1.3 Fire Access Plan - Phase 1
- A-1.4 Fire Access Plan - Phase 2
- L-1 of 1 Conceptual Grading Plan
- Landscape Concept Plan
- A-2.1 Building A Floor Plans East
- A-2.2 Building A Floor Plan West
- A-2.3 Building B Floor Plan
- A-2.4 Building C1 Floor Plans
- A-2.5 Building C2 Floor Plans
- A-2.6 Building C3 Floor Plans
- A-2.7 Building D Floor Plan East
- A-2.8 Building D Floor Plan West
- A-2.9 Building E Floor Plan East
- A-2.10 Building E Floor Plan West
- A-2.11 Building F Floor Plan East
- A-2.12 Building F Floor Plan West
- A-2.13 Building G Floor Plan East
- A-2.14 Building G Floor Plan West
- A-2.15 Building H Floor Plan East
- A-2.16 Building H Floor Plan West
- A-2.17 Covered RV Parking A Floor Plans
- A-2.18 Covered RV Parking B Floor Plans
- A-3.1 Building A South and East Exterior Elevations
- A-3.2 Building A North and West Exterior Elevations
- A-3.3 Building B Exterior Elevations
- A-3.4 Building C Exterior Elevations
- A-3.5 Buildings D-H Exterior Elevations
- A-3.6 Covered RV Parking A & B Exterior Elevations
- A-3.7 Trash Enclosure Views
- A-4.1 Main Entrance
- A-4.2 From Washington Avenue looking North
- A-4.3 From Washington Avenue looking East
- A-4.4 From Washington Avenue looking Northeast
- A-4.5 Trash Enclosure & RV Service Area
- A-4.6 Building C Perimeter Wall Treatment

Site Plan - Phase 1



A New Self-Storage Facility for:

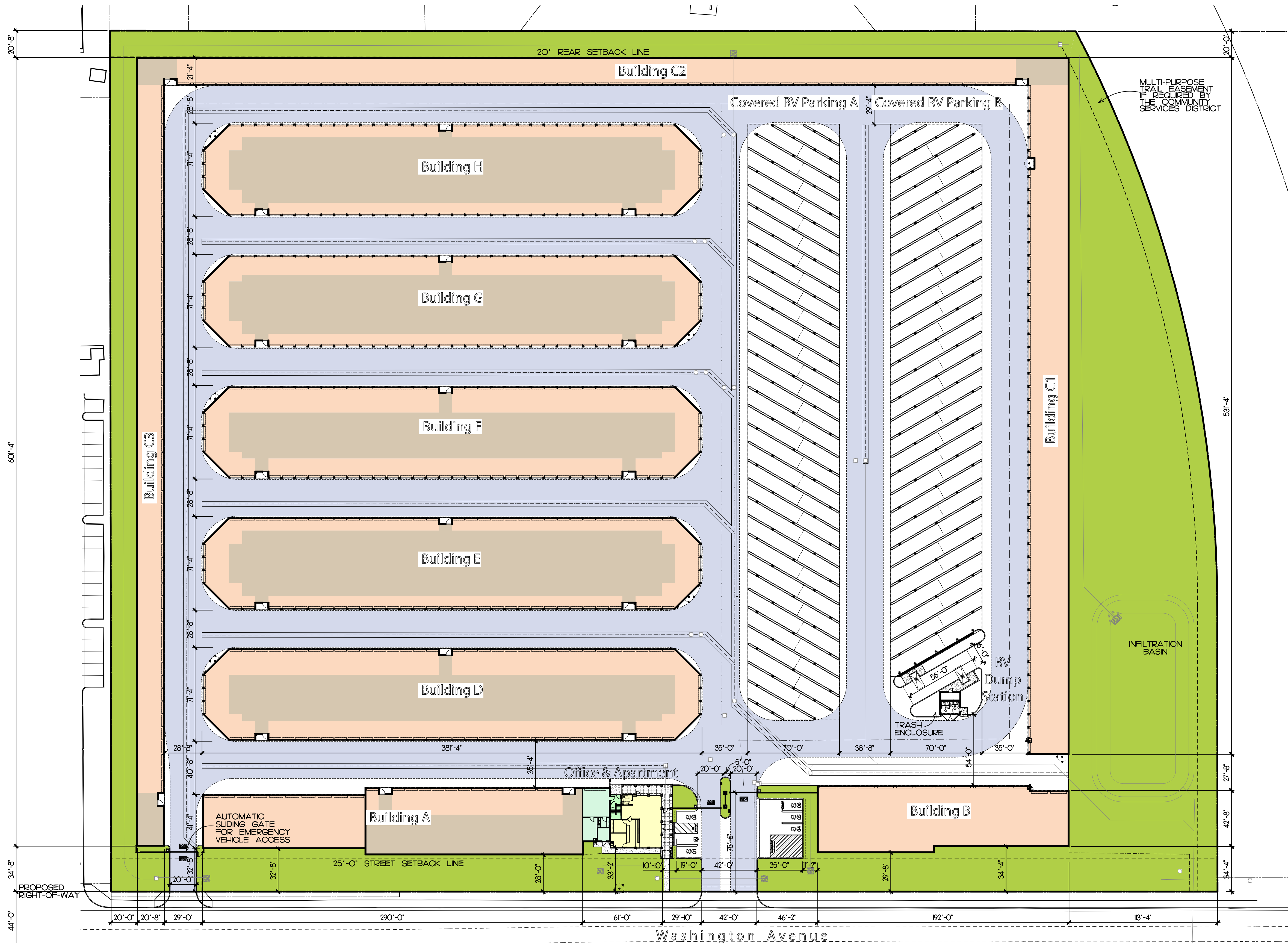


Washington Avenue
Murrieta, California

James Goodman ARCHITECTURE
An Architectural Corporation Member American Institute of Architects

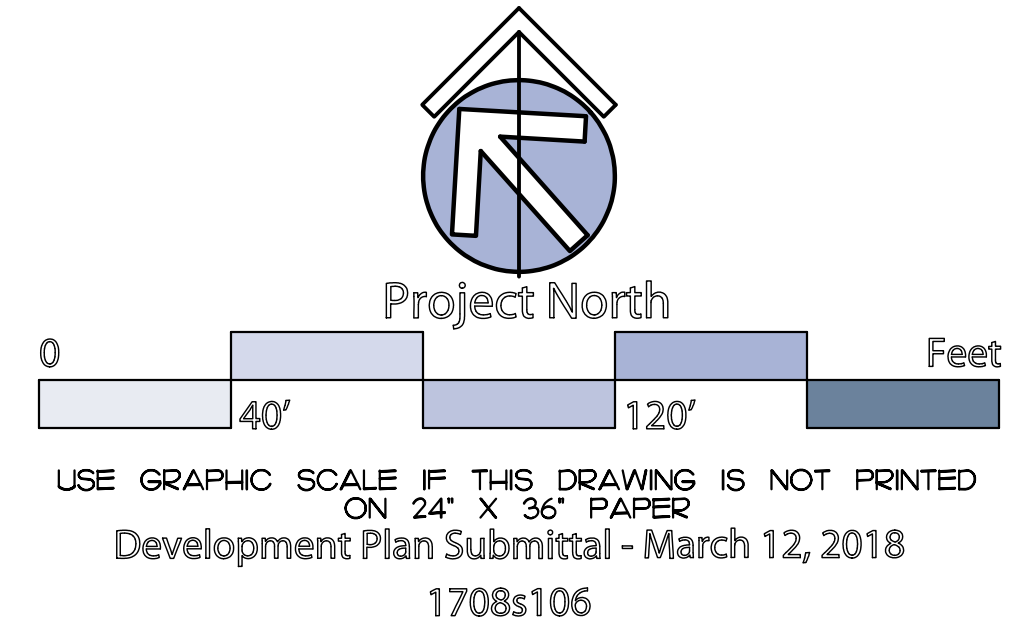
26901 Camino de Estrella, Suite A, Capistrano Beach, California 92624 949.493.0740 information@jgaa.com

Mighty Development, Inc. ° Owner
Michael Baker International ° Civil Engineering
Emerald Design ° Landscape Architecture



SEE CONCEPTUAL GRADING PLAN FOR PROPOSED PUBLIC IMPROVEMENTS

Site Plan - Phase II



Statistics

Building Areas

	Customer Service	Caretaker Unit	Caretaker Garage	Ext Access Storage	Int Access Storage	CBC Total	Ext Walls	Gross Bldg Area
Phase 1								
Building A1	1,403	152	830	7,726	5,385	15,496	664	16,160
Building A2		1,436				1,436	210	1,646
Total Building A	1,403	1,588	830	7,726	5,385	16,932	874	17,806
Building B				8,937		8,937	323	9,260
Building C1				15,260		15,260	654	15,914
Building C2				12,792	1,311	14,103	1,058	15,161
Building C3				10,798	752	11,550	437	11,987
Building D				12,939	12,142	25,081	719	25,800
Building E				8,341	16,740	25,081	719	25,800
Building F				12,939	12,142	25,081	719	25,800
Total Phase 1	1,403	1,588	830	89,732	48,472	142,025	5,503	147,528
Phase 2								
Building G				9,891	15,190	25,081	719	25,800
Building H				8,341	16,740	25,081	719	25,800
Total Phase 2				18,232	31,930	50,162	1,438	51,600
Total Project	1,403	1,588	830	107,964	80,402	192,187	6,941	199,128
Covered RV Parking A								31,815
Covered RV Parking B								28,374
Total Covered RV Parking								60,189

Site Statistics

	Provided	Required/Allowed
Total Gross Site Area	575,803 s.f. 13.22 acres	
Total Net Site Area	538,670 s.f. 12.37 acres	
Phase 1		
Floor Area Ratio	142,025 s.f. 0.26	323,202 s.f. 0.6 maximum
Building Coverage	140,589 s.f. 26.10%	
Paving Coverage	283,137 s.f. 52.56%	
Landscape Coverage	114,944 s.f. 21.34%	107,734 s.f. 20% minimum
Phase 2		
Floor Area Ratio	192,187 s.f. 0.36	323,202 s.f. 0.60 maximum
Building Coverage	190,751 s.f. 35.41%	430,936 s.f. 80% maximum
Paving Coverage	232,975 s.f. 43.25%	
Landscape Coverage	114,944 s.f. 21.34%	107,734 s.f. 20% minimum
Parking Area		
Total Parking Area	7,678 s.f.	
Parking Landscape	1,750 s.f. 22.79%	384 s.f. 5% minimum

Parking

- Parking Required: 5 spaces required
- Parking Provided: Full Size: 5 spaces provided; Disabled Access: 2 spaces provided; Total Provided: 7 spaces provided
- Loading Required: 1 space required
- Loading Provided: 1 space provided
- Bicycle Parking Required: 1 space required
- Bicycle Parking Provided: 1 space provided

Utilities & Services

- Electric: Southern California Edison Company, 287 Tennessee Street, Redlands, Ca 92373, (909) 307-6788
- Gas: Southern California Gas Company, 1881 West Lugonia Avenue, Redlands, Ca 92375, (909) 335-7836
- Telephone: A&T, 3333 E. Colorado Street, 2nd Floor, Anaheim, Ca 92807, (714) 507-3528
- Cable: Spectrum, 580 South Promenade Avenue, Suite 102, Corona, Ca 92709, (951) 547-3831
- Water: Western Municipal Water District, 14205 Meridian Parkway, Riverside, Ca 92518, (951) 571-7207
- Sewer: Western Municipal Water District, 14205 Meridian Parkway, Riverside, Ca 92518, (951) 571-7207
- School District: Murrieta Valley Unified School District, 41870 Mealey Court, Murrieta, Ca 92582, (951) 696-1600

RV Parking Spaces

	Phase 1	RV A	RV B
12x15	2	0	0
12x20	2	1	0
12x25	2	1	1
12x30	50	31	29
12x35	48	0	0
12x40	0	31	27
12x45	2	0	0
Total	106	64	57

Storage Units:

Phase 1:	786 Units
Phase 2:	437 Units
Total:	1,223 Units

Site Notes:

- Accessible Path of Travel: No abrupt changes in elevation along the path of travel shown on the drawings. The slope along the path of travel shall not exceed 5% (inspector to verify).
- 177 Total accessible storage spaces are required. 443 Storage spaces are provided in Buildings A,B,D & E. All classes of storage units are provided in Buildings A,B,D & E.
- Self-Service storage spaces complying with Table 11b-225.3 shall not be required to be dispersed among buildings in a Multi-Building Facility. (Section 11b-225.3.1)
- The design does not require accessible path to Storage units at other buildings as each type of Storage unit size is provided in Buildings A,B,D & E with appropriate number of accessible storage units being provided per CBC Table 11b-225 and the exception per 11b-225.3 will not require additional accessible storage spaces at other buildings.
- All Buildings except for the Office/Caretaker Building are Construction Type IIB, Fully Sprinklered, Occupancy Type S-1.
- Office/Caretaker Building is Construction Type VB, Full Sprinklered, Occupancy Type M & R-3 and is separated from the S-1 occupancy with a 3-hour fire wall.

A New Self-Storage Facility for:



Washington Avenue
Murrieta, California

James Goodman ARCHITECTURE
An Architectural Corporation Member American Institute of Architects
26901 Camino de Estrella, Suite A, Capistrano Beach, California 92624 949.493.0740 information@jgaa.com

Mighty Development, Inc. ° Owner
Michael Baker International ° Civil Engineering
Emerald Design ° Landscape Architecture