

PROJECT MASTER PLAN

TERRA LAGO



**FOR USE BY:
THE CITY OF INDIO
100 CIVIC CENTER MALL
INDIO, CA 92202**

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TERRA LAGO PROJECT MASTER PLAN

*(Per City of Indio Municipal Code Sections 159.950-159.958 for
Combining Overlay District Plan Implementation)*

Proposed Amendment No. 2 to The Hills Project Master Plan #96-8-10

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(RV4)

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***1.0 INTRODUCTION
AND SUMMARY***

1.0 INTRODUCTION AND SUMMARY

The Terra Lago Project Master Plan Amendment No. 2 (PMP) shall serve as the design, development and land use standard for the proposed 563.34 acre project located within the City of Indio, Riverside County, California. The PMP shall be adopted by Ordinance of the City of Indio and thereby shall serve as the Zoning and Development plan for the construction and operation of the project. The Proposed Project Master Plan Amendment applies to PMP # 96-8-10 (The Hills) and overlays a portion of property previously covered by PMP # 00-3-15 (Indian Lakes).

The City of Indio General Plan-2020, as currently amended, was initially adopted in October 1993. It set forth a formal vision for the future growth of the City. It did so particularly for those areas of the City mostly undeveloped at the time. Among these areas was the Shadow Hills Planning Sub-area in which the site of the proposed project is located. The vision for this portion of the Shadow Hills was the creation of a diversity in housing opportunities through the use of Residential Planned Development (RPD) overlays. In all, the Shadow Hills Planning Sub-area was divided into four RPD overlays, the eastern most of which, RPD-4, comprised approximately 1,100 acres and encompassed the site of the proposed project (See Figure 1-1).

The General Plan land use designation for the subject property is CE/RPD-4 (Country Estates/Residential Planned Development - 4). The General Plan requires that a Project Master Plan be prepared for any property located in a Residential Planned Development area where a Conceptual Specific Plan (CSP) has been approved. The Conceptual Land Use Plan for the project site is depicted in Figure 3-1.

The project site is generally located in the northeast portion of the City of Indio, approximately one mile north of I-10 (See Figures 2-1 and 2-2). Figure 2-3 displays the current distribution of developed and undeveloped areas within the project site. As shown, the Landmark Golf Club occupies approximately two-thirds of the project site while the remainder is presently vacant or abandoned. Another clearly evident on-site land use is the northwest-southeast trending alignment of the All American Canal bisecting the project site. To the north the project site is bordered by the eastside dike. All property north of the dike is unimproved. Existing land uses south of the project site are mobile home parks, as well as agricultural and vacant lands. East of the project site there occurs primarily vacant land and agriculture. To the west, the project site is bordered by Golf Center Parkway.

As previously indicated, this Project Master Plan Amendment will replace a portion of the existing Indian Lakes PMP (For a more detailed discussion see Section 2.3 of this document) and is the second amendment to the Hills Project Master Plan #96-8-10 which was amended on July 30th, 2003 and originally approved by the Indio City Council on November 13th, 1996. The original Hills Project Master Plan approval consisted of a 438-acre world-class recreation and resort complex consisting of a Golf Resort, Hotel and Residential Development (See Figure 2-4). "The Hills" project was to be located in the northern portion of the RPD-4 Specific Plan and comprised more than one-third of its total land area. To date, only the two golf courses and related facilities (now known as the Landmark Golf Club) have been constructed (See Figures 2-6 and 2-7). The most recent development-related approvals issued by the City of Indio within the project site boundary occurred during July of this year (2003) and concerned a project identified as the Worldmark by Trendwest 455 Unit Timeshare Resort. This latest approval is the first amendment to the Hills Project Master Plan 96-8-10 and serves to replace the Resort Hotel

component of The Hills Golf Resort, Hotel and Residential Development previously approved in November 1996.

The proposed development associated with this Project Master Plan amendment will relocate some existing golf holes and provide a residential component to the original Hills Project Master Plan (See Figure 2-4). Although the site area has been expanded, the Terra Lago Project Master Plan has been designed to maintain general consistency with the original Hills PMP of 1996. The Terra Lago PMP (The Hills Amendment No. 2) provides a Conceptual Land Use Master Plan (Figure 3-1) that serves as the guidelines for development within the project site. Figure 3-1, 3-2 and 3-3 depict development within the project site.

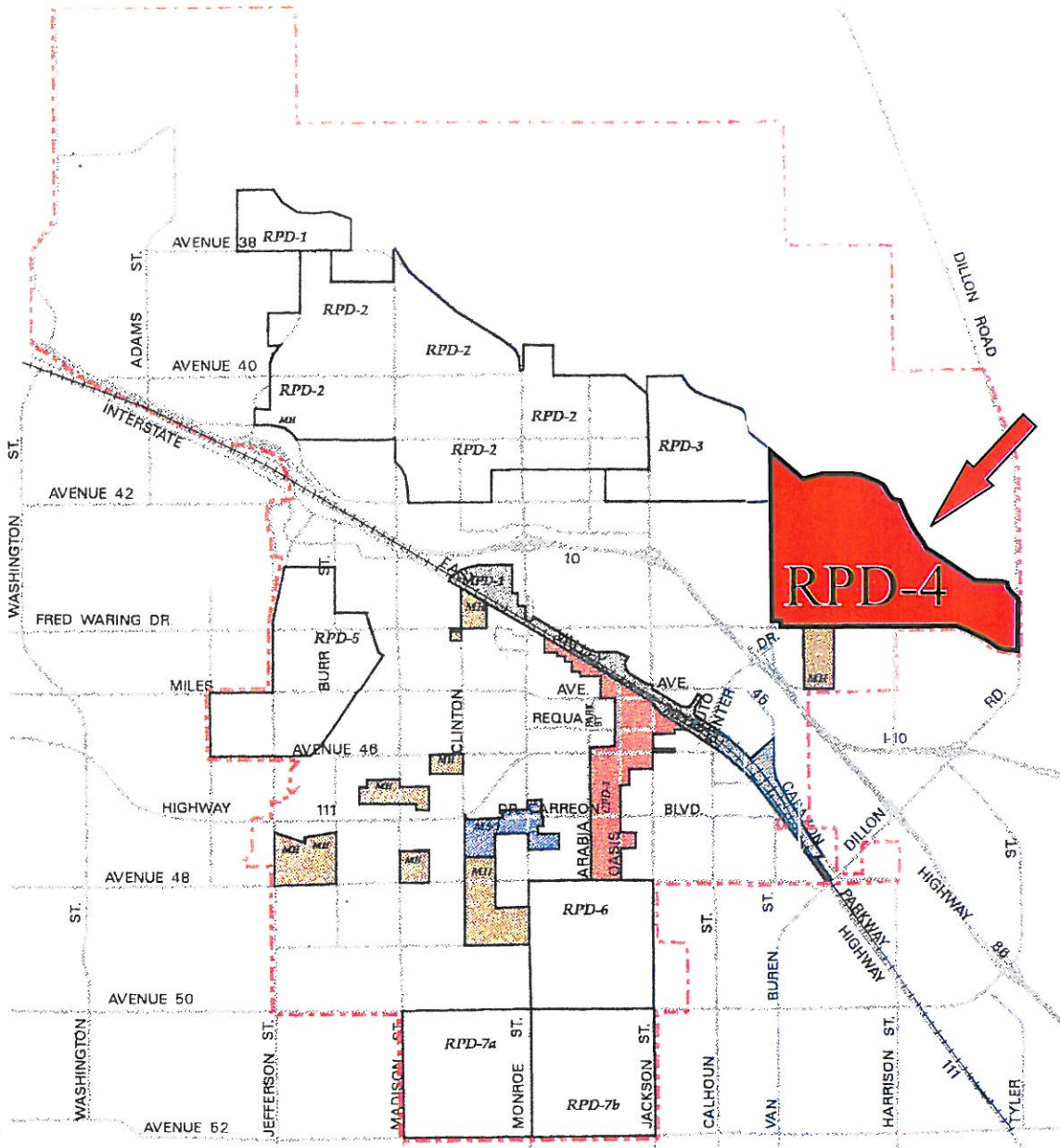
Planning area numbering in the Terra Lago Project Master Plan starts with PA No. 6 and continues thru PA No. 17. This numbering system is meant to coincide with the numbering sequence associated with the adjacent SunCal Indio PMP (01-10-17 Amendment No. 1) which was adopted in December of 2003. The SunCal Indio PMP is immediately adjacent to the Landmark Lakes Golf Course and the subject PMP. The SunCal Indio PMP established five planning areas (1-5). For internal consistency, the numbering sequence continues with Planning Area No. 6 in this PMP.

The plan allows for the development of 851 dwelling units of various density types including, High Density Residential (*Planning Area No. 12 - Minimum Lot Size 2,100*), Medium Density Residential (*Planning Area No. 6 - Minimum Lot Size 4,000 square feet; Planning Area No. 10 - Minimum Lot Size 5,000 square feet; Planning Area No. 11 - Minimum Lot Size 5,000 square feet; Planning Area No. 13 - Minimum Lot Size 5,500 square feet; Planning Area No. 14 - Minimum Lot Size 3,800 square feet; Planning Area No. 15 - Minimum Lot Size 4,500 square feet; Planning Area No. 16 - Minimum Lot Size 4,000 square feet*) and Low Density Residential (*Planning Area 9 - minimum lot size 10,000 square feet*), a potential Recreation Center, the relocation of existing golf holes, lakes, a water treatment facility, and pedestrian pathways. The general residential product type shall be characterized by one to two-story, single-family detached homes. Access to the site will be provided off of Avenue 44 and Landmark Golf Parkway via Golf Center Parkway.

The Terra Lago Project Master Plan will establish development regulations, policies and standards to implement the Land Use Plan as ultimately approved by the Indio City Council. As indicated previously, the Terra Lago PMP is an amendment of prior approvals associated with the original Hills PMP. Applicable standards contained in the "Hills PMP," primarily associated with the golf course and related uses (i.e clubhouse) have been incorporated herein.

This PMP is regulatory, adopted by ordinance, and upon adoption will continue to provide consistency with the City of Indio General Plan.

This PMP contains development controls to provide the City of Indio with assurances that the site area will be developed as planned. The PMP is intended to provide a degree of flexibility to allow future development to respond to changes in economic conditions and the marketplace which may occur over the build out period of the project. The PMP establishes the design and development policies applicable to development within the master plan area. The designs encompass project planning design, landscaping, signage, lighting and project characteristics.



SOURCE: CITY OF INDIO GP

RESIDENTIAL PLANNED DEVELOPMENT DESIGNATION



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Figure 1-1

***2.0 PROJECT LOCATION
AND DESCRIPTION***

2.1 PROJECT DESCRIPTION

The Terra Lago PMP provides the following development scenario that represents the project (Figure 3-2).

The Terra Lago PMP generally *allows* for the development of the following:

- * Planning Area No. 6: Medium Density Residential (minimum lot size 4,000 square feet), Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 7: Imperial Irrigation District (I.I.D) substation
- * Planning Area No. 8: ★ Trendwest Timeshare Resort (Vacation Club Location)
- * Planning Area No. 9: Low Density Residential (minimum lot size 10,000 square feet), Estate Size Lots, Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 10: Medium Density Residential (minimum lot size 5,000 square feet), Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 11: Medium Density Residential (minimum lot size 5,000 square feet), Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 12: High Density Residential (minimum lot size 2,100 square feet), Green Court Lots, Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 13: Medium Density Residential (minimum lot size 5,500 square feet), Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 14: Medium Density Residential (minimum lot size 3,800 square feet), Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 15: Medium Density Residential (minimum lot size 4,500 square feet), Recreation Center, Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting Utilities.
- * Planning Area No. 16: Medium Density Residential (minimum lot size 4,000 square feet), Open Space including Parks and Retention Basins, Local Streets, Common Ways and Supporting

★ *The Timeshare Resort was previously approved during July of 2003 and is slated for development in July of this year (2004). Although within the Terra Lago project boundary and given a Planning Area Designation it is not the purpose of this document to seek any approvals for this particular piece within the Terra Lago Project Master Plan.*

- Utilities.
- * Planning Area No. 17: ★★Golf Course (clubhouse, Pavilion and associated parking), Open Space including Retention Basins, Lakes
- * Although not delineated as a separate Planning Area, 2.5 acres will be set aside for a domestic water treatment facility adjacent to Planning Area 15.

Residential dwelling units within the Terra Lago PMP will be one to two-story, single-family detached homes on the lots within Planning Areas 6,9,10,11,13,14,15,16 and/or Green Court lots in Planning Area 12.

This document implements the City's General Plan and the CSP RPD-4 through the provisions of this PMP. The adoption of the Terra Lago PMP will establish the type, location, intensity and character of development and the required infrastructure in order for development to occur. The PMP will also guide development in order to respond to the physical constraints and environmental sensitivities of the site, coordinate the land uses and provide guidelines for grading, circulation and drainage. To better ensure that the design criteria are followed, conceptual designs are incorporated herein as a guide for use by decision makers charged with the authority to approve projects subsequent to the adoption of this PMP. Therefore conceptual designs are intended to convey the character, quality and general land use distribution to be achieved in the development of the project site. However, sufficient latitude in specific design is intended to be left for the ultimate project designer(s) and decision makers at the tentative map and design review stage.

2.2 PROJECT LOCATION AND SETTING

The City of Indio is situated in the Coachella Valley in Riverside County (See Figure 2-1 Regional Location Map). The project site is generally located in the northeastern portion of the City of Indio, approximately one mile north of I-10 (See Figures 2-1 and 2-2). Figure 2-3 displays the current distribution of developed and undeveloped areas within the project site. As shown, the Landmark Golf Club occupies approximately two-thirds of the project site while the remainder is presently vacant or abandoned. Another clearly evident on-site land use is the northwest-southeast trending alignment of the All American Canal bisecting the project site. To the north the project site is bordered by the eastside dike. All property north of the dike is unimproved. Existing land uses south of the project site are mobile home parks, as well as agricultural and vacant lands. East of the project site there occurs primarily vacant land and agriculture. To the west, the project site is bordered by Golf Center Parkway.

2.2.1 Environmental Setting

The Terra Lago Project Master Plan has been designed in response to the subject site's physical and environmental opportunities and constraints. This section of the Project Master Plan provides a brief overview of the above referenced variables and establishes the foundation from which the Terra Lago Project Master Plan has evolved.

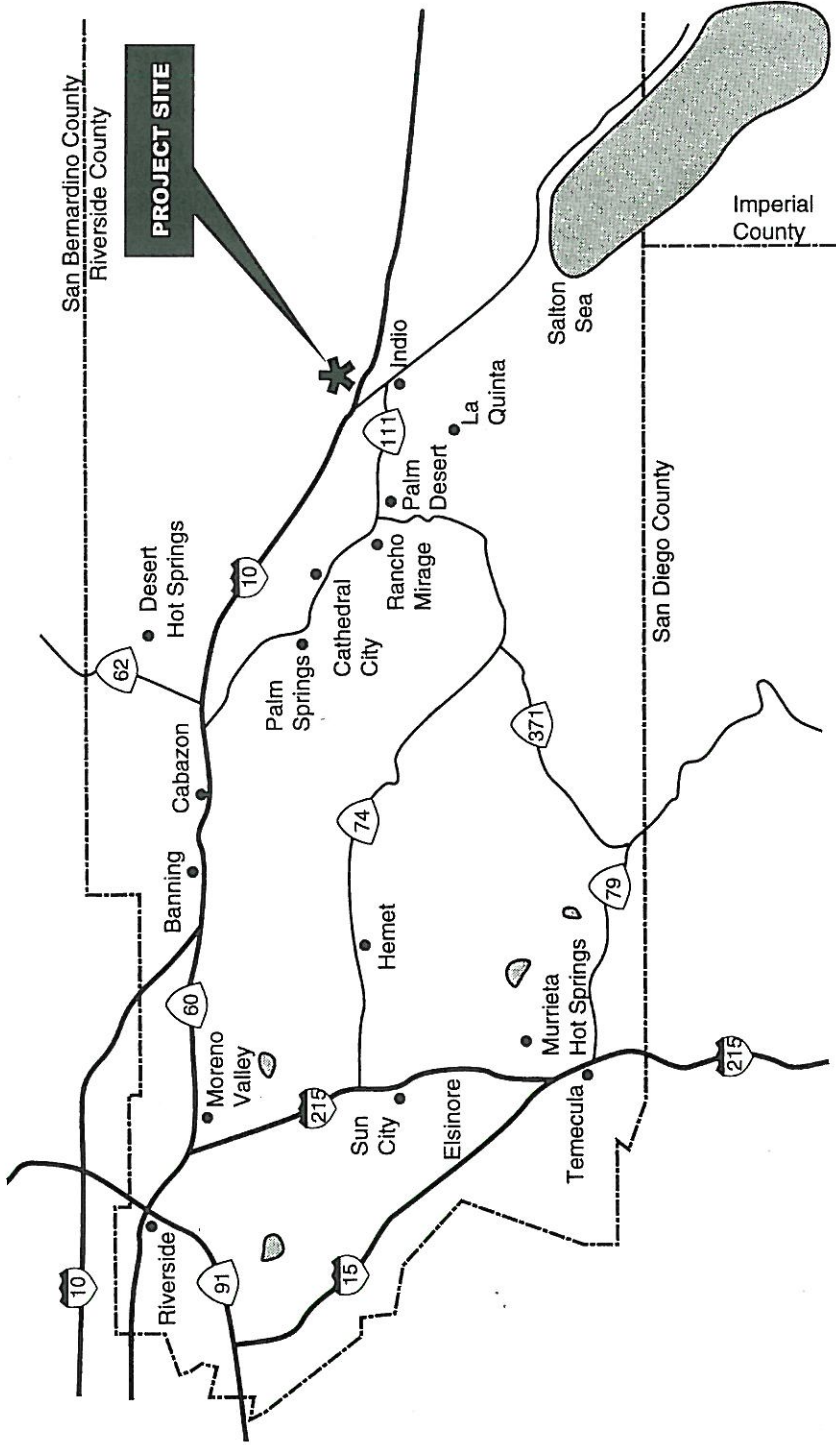
The All American Canal bisects the project site. The Eastside Dike, which protects the area from

★★ *The Existing Landmark Golf Course currently occupies a substantial portion of the project site. Proposed residential development will relocate some existing golf holes.*

runoff generated in the Indio Hills, forms the northerly boundary of the site. The property slopes generally in the southwesterly direction. The subject site is generally located in the Thousand Palms Subarea Groundwater Basin. The site is within the Blowsand Hazard Zone.

The project site is located in the Alquist Priolo Special Studies Zone as established by the State. A Geological evaluation has been prepared to locate the fault and establish setback requirements for all proposed structures involving human occupancy.

Additional information regarding soil type, groundwater levels, earthquake faults in the region and other pertinent environmental conditions are evaluated in the project's Environmental Assessment.



REGIONAL LOCATION MAP

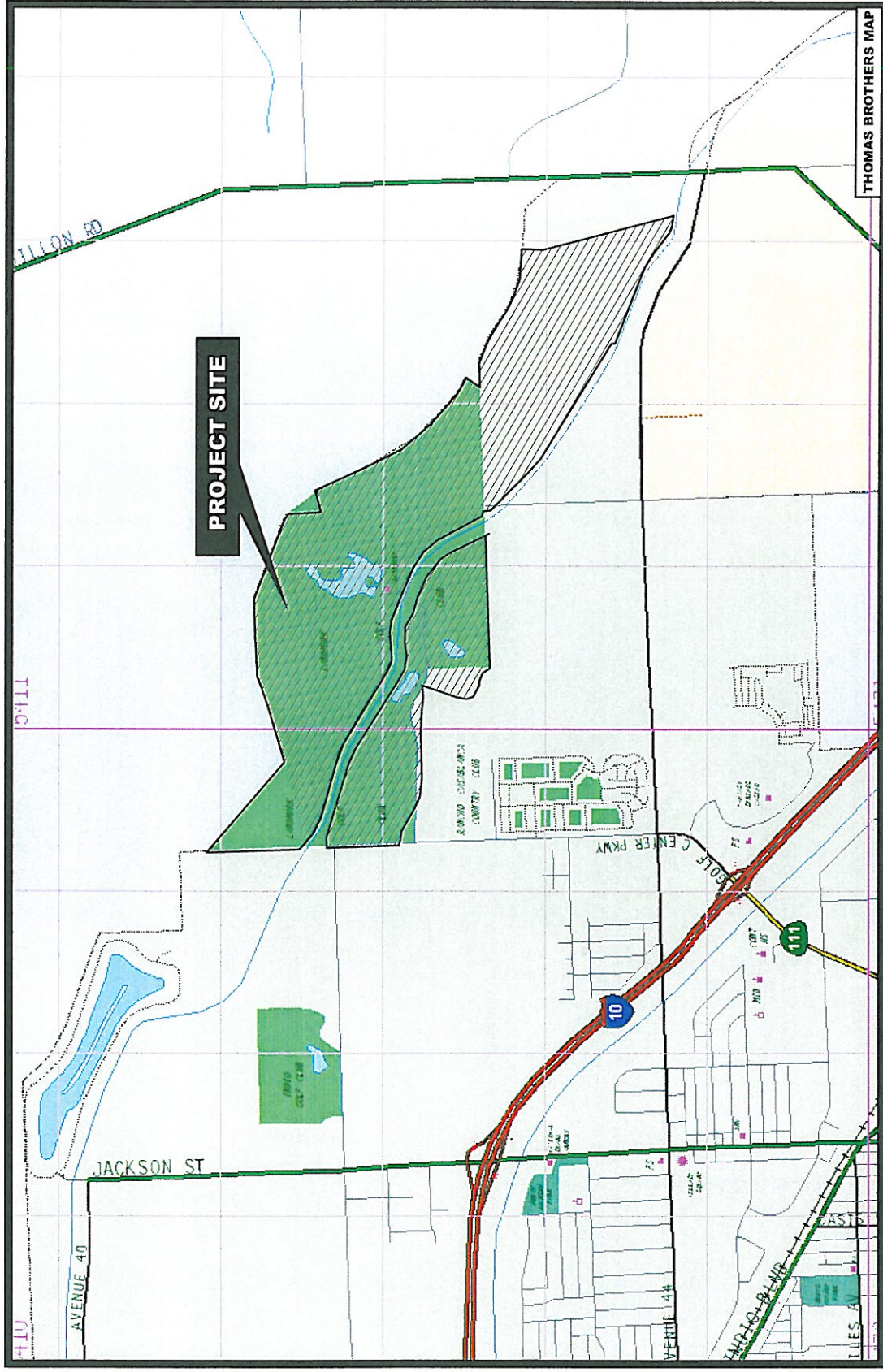
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Figure 2-1



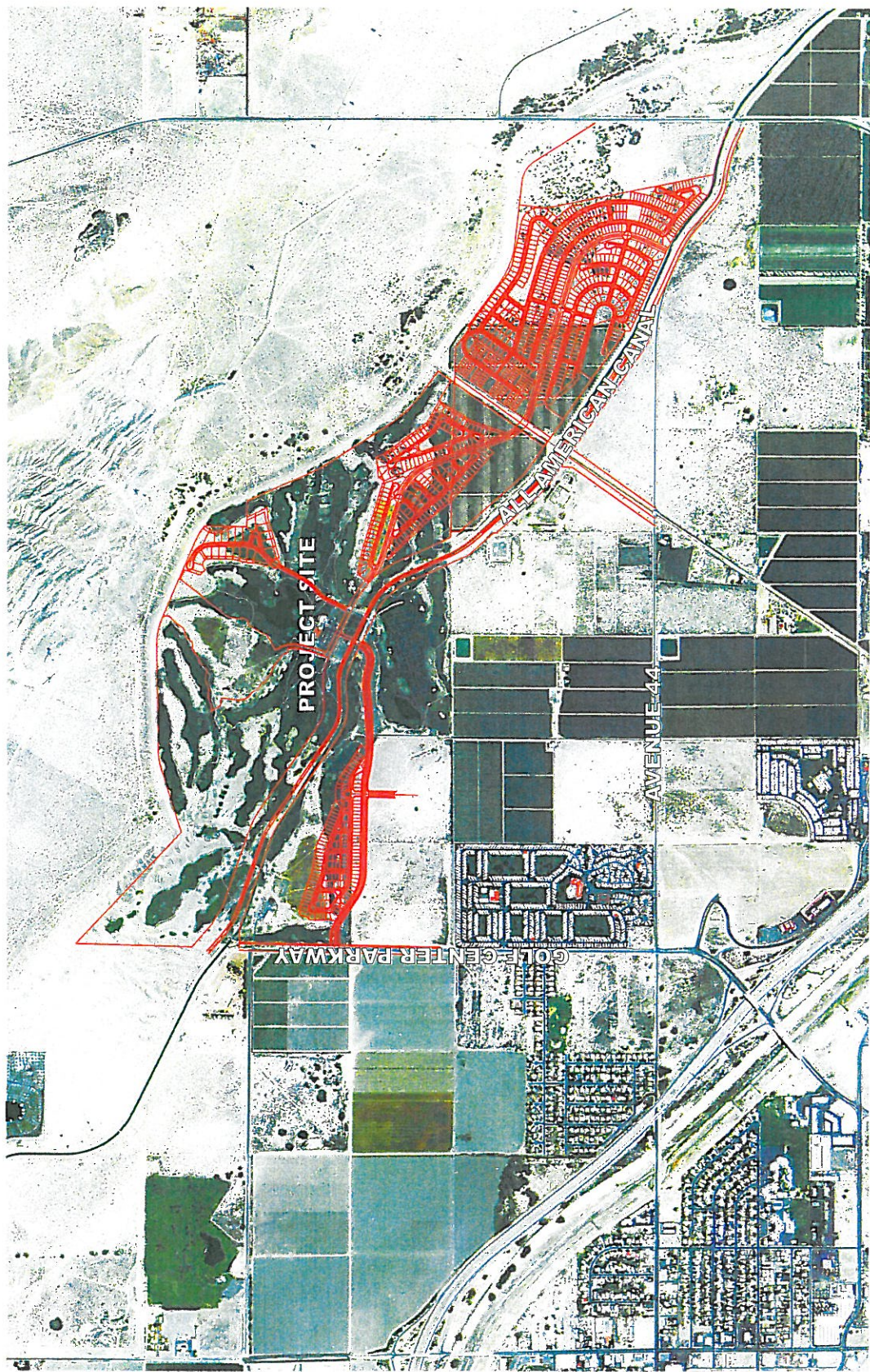
THOMAS BROTHERS MAP

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Figure 2-2

PROJECT VICINITY LOCATION MAP

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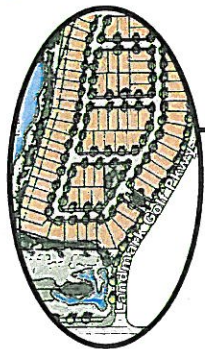
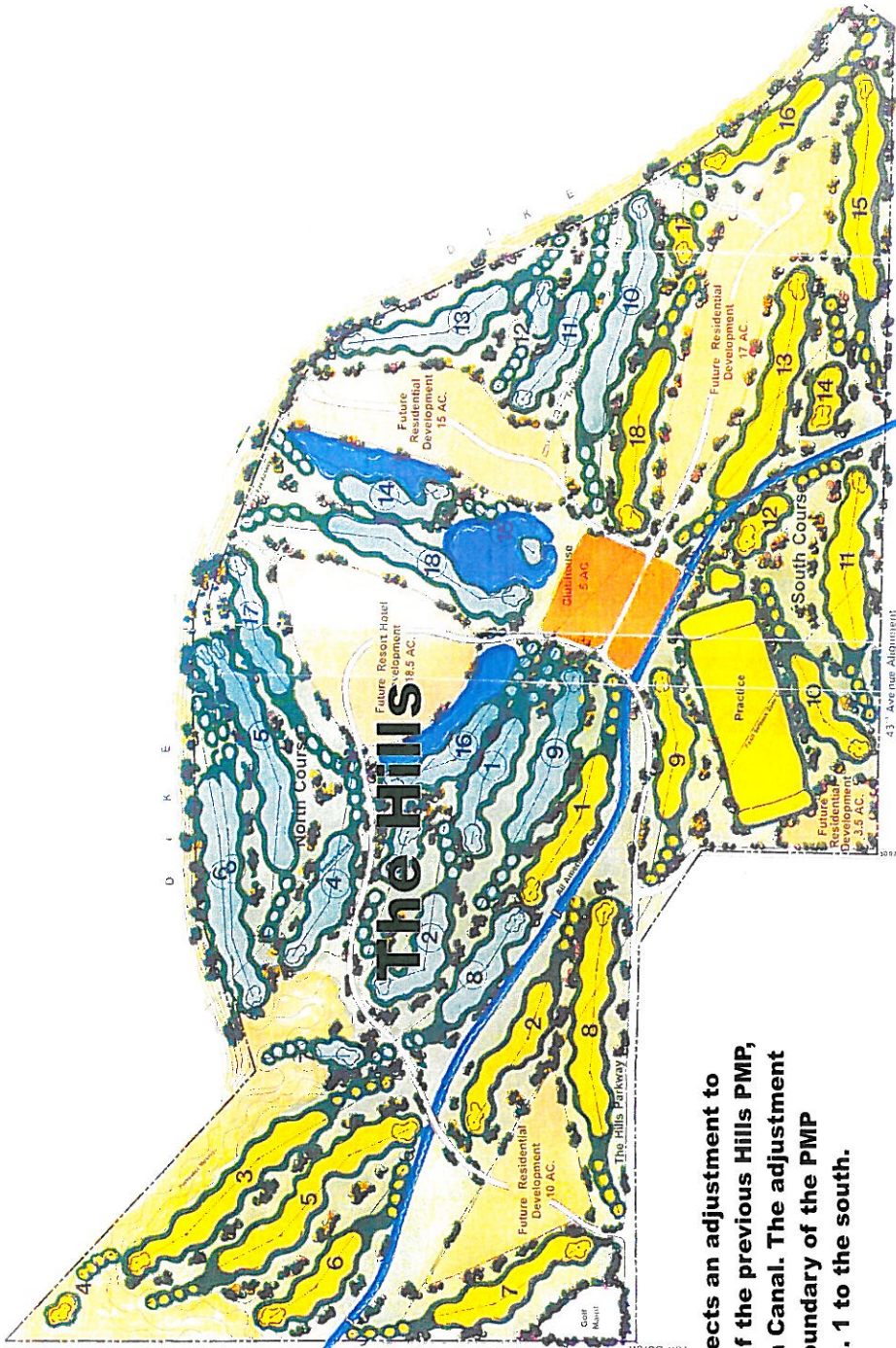
PLAN VIEW AERIAL WITH PROJECT SITE OVERLAY

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Figure 2-3



The Terra Lago PMP reflects an adjustment to the southern boundary of the previous Hills PMP, west of the All American Canal. The adjustment is consistent with the boundary of the PMP 01-10-17 Amendment No. 1 to the south.

THE HILLS CONCEPTUAL MASTER PLAN

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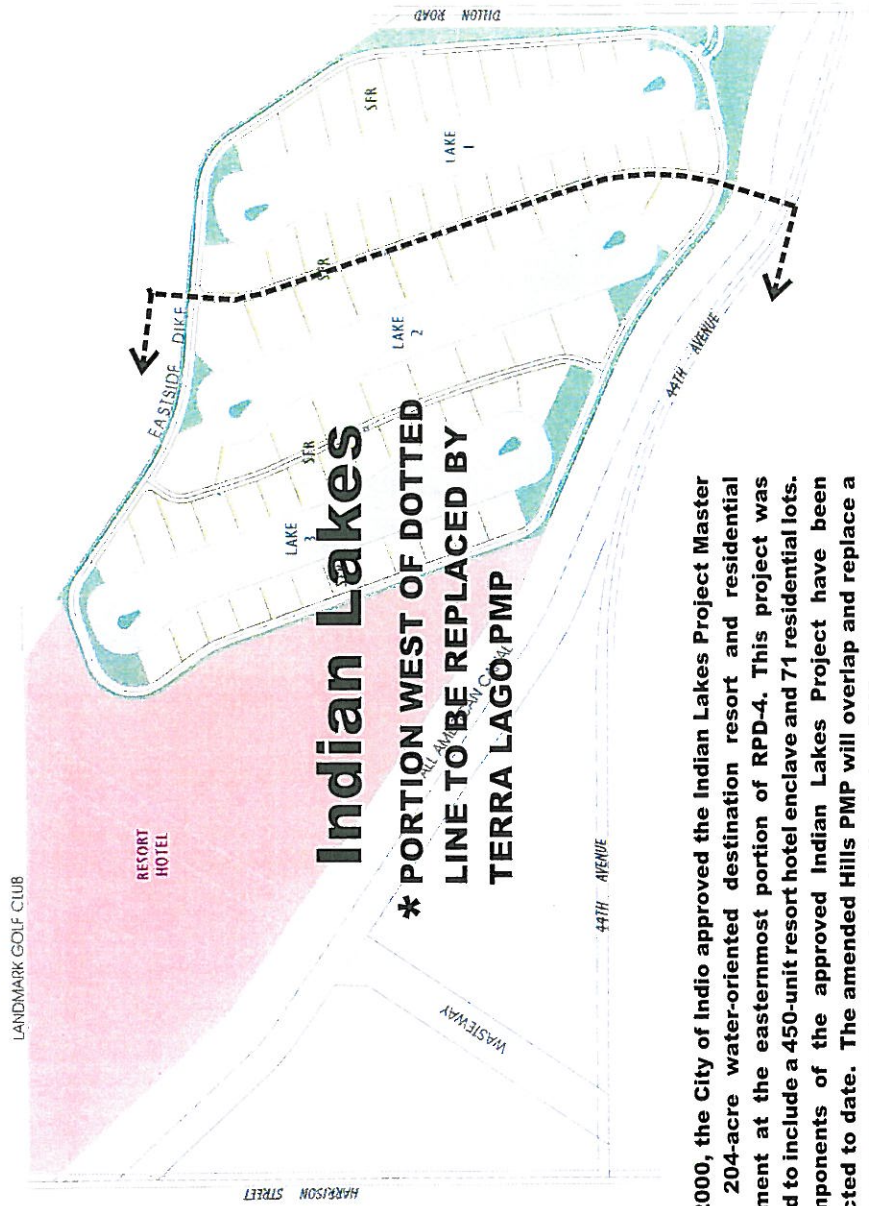
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Figure 2-4



Indian Lakes

*** PORTION WEST OF DOTTED LINE TO BE REPLACED BY TERRA LAGO PMP**

* In May 2000, the City of Indio approved the Indian Lakes Project Master Plan, a 204-acre water-oriented destination resort and residential development at the easternmost portion of RPD-4. This project was approved to include a 450-unit resort hotel enclave and 71 residential lots. No components of the approved Indian Lakes Project have been constructed to date. The amended Hills PMP will overlap and replace a portion of the previous design of the Indian Lakes PMP.

INDIAN LAKES CONCEPTUAL MASTER PLAN

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Landmark North Course



Landmark South Course



EXISTING GOLF COURSE PRIOR TO PROPOSED CHANGES

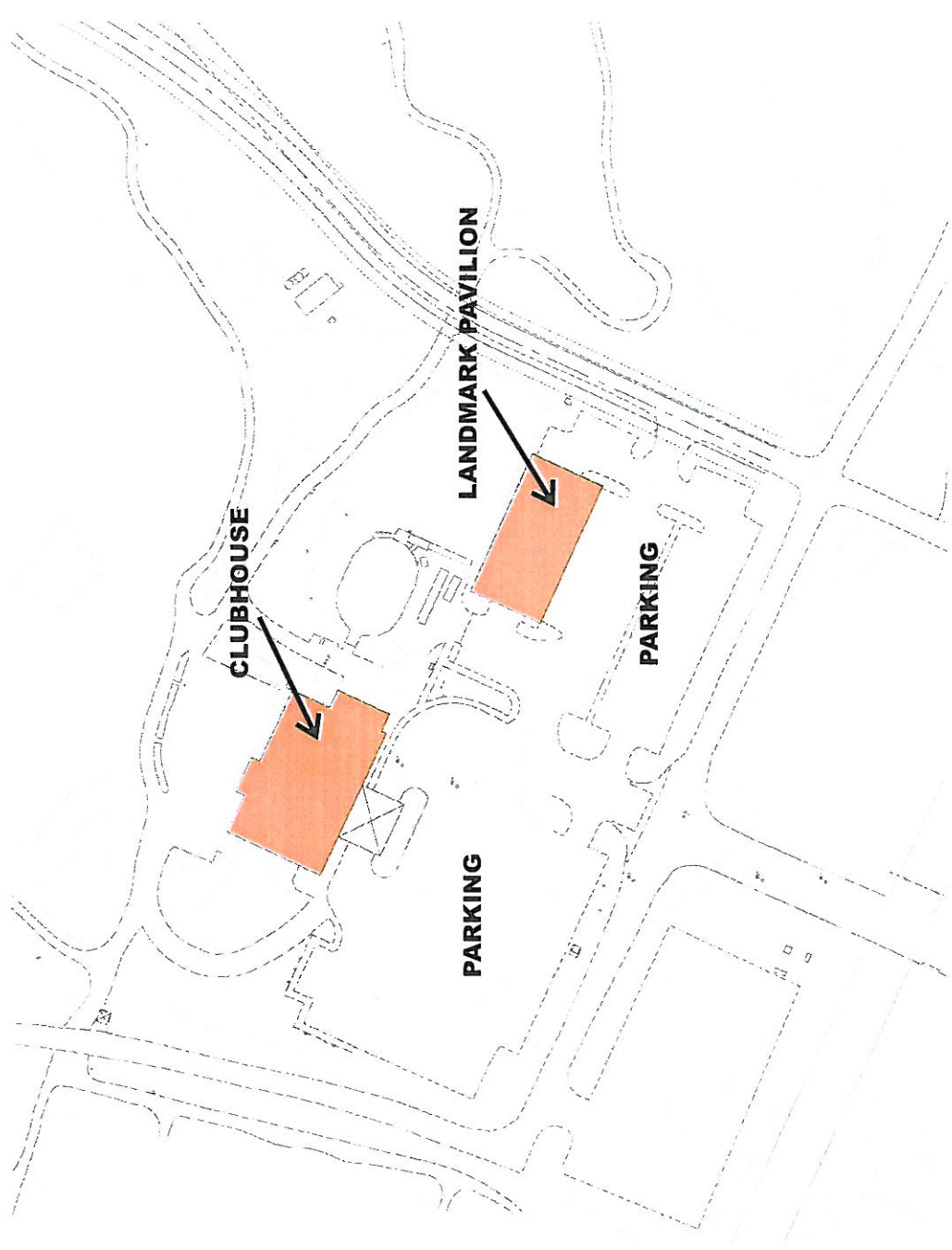


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Figure 2-6



LANDMARK GOLF COURSE EXISTING CLUBHOUSE, PAVILION AND ASSOCIATED PARKING | **TKC**

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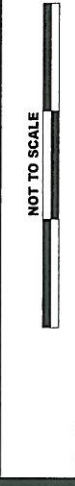


Figure 2-7

2.3 PROJECT SITE HISTORY

As indicated previously, the City of Indio General Plan-2020, as currently amended, was initially adopted in October 1993. It set forth a formal vision for the future growth of the City. It did so particularly for those areas of the City most undeveloped at that time. Among these areas was the Shadow Hills Planning Sub-area which comprised three primary elements: the I-10 Corridor; the Village Core; and, the Residential Villages, in which the site of the proposed project is located. The vision for the Residential Villages portion of the Shadow Hills Planning Sub-area was the creation of diversity in housing opportunities. Further, the General Plan ensures this type of development by providing for the use of Residential Planned Development (RPD) overlays.

In all, the Shadow Hills Planning Sub-area is divided into four RPD overlays, the easternmost of which, RPD-4, comprises approximately 1,100 acres and encompasses the site of the proposed project. The General Plan also requires any proposed project within an RPD overlay area to be consistent with an approved Specific Plan (SP) for the entire area contained within the RPD designation. The aforementioned RPD-4 Specific Plan, approved by the City of Indio on November 13, 1996, satisfies the General Plan's requirement in the foregoing regard and provides property owners and prospective development interests alike with a guide for the orderly development of this portion of the overall Planning Sub-area.

Subsequent to its formal creation in the Indio General Plan-2020 several planning and/or development proposals have either been approved or approved and constructed within the RPD-4 area and more specifically within the Terra Lago project site boundary (See Table 2-1). First, the City of Indio adopted the RPD-4 Specific Plan in November 1996. The Specific Plan encompassed all 1,100 acres comprising the RPD-4 area. Almost concurrently, also during November 1996, the City approved the 438-acre The Hills Golf Resort, Hotel and Residential Development, a world-class recreation and resort complex (See Figure 2-4). "The Hills" project, approved pursuant to a Project Master Plan, was to be located in the northern portion of the RPD-4 Specific Plan and comprised more than one-third of its total land area. To date and pursuant to this approval, only the two golf courses and related facilities (now known as the Landmark Golf Club) have been constructed (See Figures 2-6 and 2-7).

In May 2000, the City of Indio also approved the Indian Lakes Project Master Plan, a 204-acre water-oriented destination resort and residential development at the easternmost portion of RPD-4. This project was approved to include a 450-unit resort hotel enclave and 71 residential lots. No components of the approved Indian Lakes Project have been constructed to date. The amended Hills PMP will overlap and replace a portion of the previous design of the Indian Lakes PMP (See Figure 2-5).

The most recent development-related approvals issued by the City of Indio within the project site boundary occurred during July of this year (2003) and concerned a project identified as the Worldmark by Trendwest 455 Unit Timeshare Resort. This latest approval is the first amendment to the Hills Project Master Plan 96-8-10 and serves to replace the Resort Hotel component of The Hills Golf Resort, Hotel and Residential Development previously approved in November 1996. This project is currently under construction.

As noted previously, the Indio General Plan-2020 assumed that all approximately 1,100-acres comprising RPD-4 would be developed with residential uses at a density of between 3.0 and 3.5 dwelling units per acre. When establishing an overall density for the project site the Land Use portion of the Indio General Plan contains various mechanisms whereby which the aforementioned maximum

number of units can be developed within the RPD-4 overlay through the utilization of density and unit transfers.

2.4 PROJECT OBJECTIVES

The PMP contains all components required by State law, as well as other components, design concepts, guidelines, and standards required by the City to implement the General Plan. The objectives of this PMP are to:

- * Provide a comprehensive land use plan that identifies the minimum and maximum development scenarios which designate the distribution, location, and extent of land uses, gated roadway, and private facilities and standards for interior residential streets within the PMP area.
- * Incorporate project design standards which encourage creativity and excellence.
- * Establish design guidelines, development regulations, land use standards and procedures to control future project improvements and provide appropriate architectural themes for the project area.
- * Develop a series of exclusive residential neighborhoods with exceptionally high quality.
- * Develop a project that ensures the public's health, safety and welfare.
- * Provide access patterns which minimize traffic conflicts.
- * Reinforce community identity through control of master planned design elements such as entry statements, signage, wall/fences and streetscapes.
- * Plan and construct capital improvements for water, sewer, drainage and road facilities to adequately service the project.

2.5 AUTHORITY AND REQUIREMENTS

2.5.1 Authority for Project Master Plans

The authority to prepare, adopt and implement Project Master Plans is granted to the City of Indio by the California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457). As with General Plans, the Planning Commission must hold a public hearing before it can recommend adoption of a Project Master Plan. The City Council shall adopt a Project Master Plan by ordinance.

2.5.2 Requirements for Project Master Plans

The Terra Lago PMP is located within the City of Indio CSP RPD-4 area. The City of Indio General Plan requires projects being proposed within a CSP RPD-4 area to prepare a PMP which illustrates how the subject project will conform within CSP RPD-4 area requirements. The development of the subject site shall conform to the current General Plan densities subject to the preparation of a PMP. The General Plan land use designation for the subject property is CE/RPD-4. The maximum density

allowed by the General Plan for a land use designation of CE in a CSP RPD-4 area is 3.5 dwelling units per acre if the project provides amenities and features which are above the minimum requirements for the RPD-4 planning area. The Overall density of the Terra Lago Project is 1.5 dwelling units per acre and the project contains amenities and features which exceed the minimum requirements of the RPD-4 Planning Area. The project will include a Residential component, a Timeshare Resort/Vacation Club Location, the relocation of existing golf holes, a Recreation Center, Lakes, a domestic water treatment facility, Parks/Retention Basins, Tree Clusters for shading and Pedestrian Pathways.

The PMP will establish the zoning, density, minimum lot size, setbacks, building heights, land uses as well as design guidelines for architectural themes, common area landscaping, and perimeter walls.

California Government Code Section 65451 sets forth the requirements for Project Master Plans as follows:

A Project Master Plan shall include a text and/or a diagram or diagrams which specify all of the following in detail:

- 1) The distribution, location and extent of the uses of land, including open space, within the area covered by the plan;
- 2) The proposed distribution, location and extent and intensity of major components of public and private transportation and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;
- 3) Standards and criteria by which improvements will proceed, and standards for the conservation, development and utilization of natural resources, where applicable, and
- 4) A statement of the relationship of the Project Master Plan to the General Plan.

The PMP is a regulatory plan which will serve as the zoning for the subject property. Proposed development plans or agreements, tentative tracts or parcel maps, and any other development approval must be consistent with the PMP. Projects which are found consistent with the PMP will be deemed consistent with the City's General Plan.

2.5.3 Alterations to the Project Master Plan

The Director of Community Development shall have the authority to determine substantial conformance with the provisions of the Project Master Plan when the changes are less than 5%; The Planning Commission shall review changes that vary between 5% and 10%; the City Council shall review all changes greater than 10%.

2.6 RELATIONSHIPS TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

This planning effort is based on substantial attention to environmental considerations including but not limited to, geotechnical, biological, hydrological, and visual characteristics which establish a comprehensive assessment of the site's development constraints and opportunities.

Under separate cover and pursuant to the California Environmental Quality Act (CEQA) Guidelines,

the Terra Lago Project Master Plan is accompanied by an Environmental Assessment (Mitigated Negative Declaration) and supplemental documents/special studies which address the environmental impacts associated with the proposed project and establish appropriate mitigation measures to reduce any impacts to the greatest extent possible. Together the Project Master Plan and Environmental Assessment will provide the City of Indio planning staff, elected officials, and the general public with a complete understanding of the project, its environmental impacts and a methodology for mitigating those impacts.

The Mitigated Negative Declaration for the PMP will apply to all subsequent developments proposed within this project. All future development projects for the project site will be reviewed with the PMP and the associated Mitigated Negative Declaration to determine whether additional environmental documentation must be prepared pursuant to Section 15162, 15168, and 15182 of the CEQA Guidelines.

3.0 DEVELOPMENT PLAN

3.1 PURPOSE AND INTENT

The purpose of this Project Master Plan (PMP) is to address the land use issues associated with the development of the Terra Lago Project Master Plan in sufficient detail to ensure that the subject site develops in a manner which is consistent with the intent of the General Plan; protects the public health, safety and general welfare; is compatible with zoning on adjacent properties and is suitable and appropriate for the subject property. The PMP assures a high quality project through these development regulations and design guidelines. The intent of this PMP and its regulations is to provide development criteria to guide the developer(s) and the City of Indio in the design of residential development and amenities with descriptive text and exhibits setting forth the basis for the overall master development of the project site. The components provided in this section are further defined for each planning area through the development regulations contained in Section 4.0, Development Regulations and Procedures.

The development plan has been derived from studies prepared by the applicants' civil engineer, traffic engineer, land planners, and other consultants and involvement by the City of Indio. As a result, the plan addresses development-related issues in the form of proposed physical improvements, guidelines for future development, technical data, and implementation procedures and regulations.

The Terra Lago PMP reflects an adjustment to the southern boundary of the previous Hills PMP, west of the All American Canal (See Figure 2-4). The adjustment corresponds to a modification made to the alignment of the primary roadway (Landmark Golf Parkway) off of Golf Center Parkway that currently provides access to the Landmark Golf Club and Pavilion. This modification was made as a part of the SunCal Indio Project Master Plan (01-10-17 Amendment No.1) project directly south of and bordering the southwestern portion of the Terra Lago Project Site. Previous approvals associated with the SunCal Indio Project Master Plan incorporate the project roadway acreage and delineate the road as a major access point connecting the SunCal project to Golf Center Parkway. Although Landmark Golf Parkway will remain a major access point into both the Terra Lago and SunCal Indio project sites, acreage associated with a section of Landmark Golf Parkway will be excluded from this document because the street alignment was approved and included in the preceding SunCal Indio Project Master Plan document. For purposes of understanding project circulation the roadway is illustrated and described in this PMP.

3.2 CONCEPTUAL LAND USE MASTER PLAN

The Conceptual Land Use Master Plan is depicted in Figure 3-1. Table 3-1 provides a breakdown of the planning areas within the project site.

**Table 3-1
Conceptual Land Use Master Plan Summary**

PLANNING AREA	ACREAGE	MINIMUM LOT SIZE	UNIT COUNT	DENSITY
Residential Planning Area 6	22.79	4,000 Square Feet	123 Lots	5.4
Planning Area 7 IID Substation	2.07	--	--	--
Planning Area 8 Trendwest	27.36	--	(455) Timeshare Units	--
Residential Planning Area 9	13.46	10,000 Square Feet	23 Lots	1.7
Residential Planning Area 10	22.29	5,000 Square Feet	81 Lots	3.6
Residential Planning Area 11	14.98	5,000 Square Feet	67 Lots	4.5
Residential Planning Area 12 Green Court Lots	12.71	2,100 Square Feet	78 Lots	6.1
Residential Planning Area 13	21.64	5,500 Square Feet	76 Lots	3.5
Residential Planning Area 14	24.63	3,800 Square Feet	138 Lots	5.6
Residential Planning Area 15 (includes Recreation Center)	41.66	4,500 Square Feet	162 Lots	3.9
Residential Planning Area 16	14.96	4,000 Square Feet	103 Lots	6.9
*Planning Area 17 (Golf Course/Open Space)	325.29	--	--	--
**Major Spine Road (non-inclusive of 8.06 acres of Landmark Golf Pkwy)	16.99	--	--	--
Water Treatment Facility	2.51	--	--	--
TOTAL	563.34	--	851 Lots	1.5

* Planning Area 17 also includes the golf clubhouse, Pavilion and associated parking.

** Interior residential street calculations are included in the planning area designations while the Spine Road calculations have been broken out separately. Although Landmark Golf Parkway will remain a major access point into both the Terra Lago and SunCal Indio project sites, 8.06 acres associated with Landmark Golf Parkway will be excluded from this document because the street alignment was approved and included in the preceding SunCal Indio Project Master Plan document.

*** Landscape acreage is already included in the Terra Lago project total.

**** The All American Canal has been excluded from the project acreage



CONCEPTUAL LAND USE PLAN ILLUSTRATION

TERRA LAGO
40767.04.200 PROJECT MASTER PLAN



Figure 3-1

The Timeshare Resort was previously approved during July 2003 and is slated for development in July of this year (2004). Although within the Terra Lago project boundary and given a Planning Area Designation it is not the purpose of this document to seek any approvals for this particular piece within the Terra Lago Project Master Plan.



LEGEND

- RESIDENTIAL PLANNING AREA 6
- RESIDENTIAL PLANNING AREA 8 (TIMESHARE RESORT)
- RESIDENTIAL PLANNING AREA 9
- RESIDENTIAL PLANNING AREA 10
- RESIDENTIAL PLANNING AREA 11
- RESIDENTIAL PLANNING AREA 12
- RESIDENTIAL PLANNING AREA 13
- RESIDENTIAL PLANNING AREA 14
- RESIDENTIAL PLANNING AREA 15
- RESIDENTIAL PLANNING AREA 16
- OPEN SPACE/ *GOLF COURSE PLANNING AREA 17

**The Landmark Golf Course currently occupies a substantial portion of the project site. Proposed Residential Development will relocate some existing golf holes.*

IID SUBSTATION PLANNING AREA 7

MAJOR SPINE ROAD
**Interior residential street calculations are included in the planning area designations while the Spine Road calculations have been broken out separately.*

WATER TREATMENT FACILITY

6-17 PLANNING AREA DESIGNATION

**Please Refer to Table 3-1 for Minimum Lot Sizes and Densities*

PLANNING AREA DESIGNATIONS

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TERRA LAGO
 40767.04.200 PROJECT MASTER PLAN

NOT TO SCALE



Figure 3-2

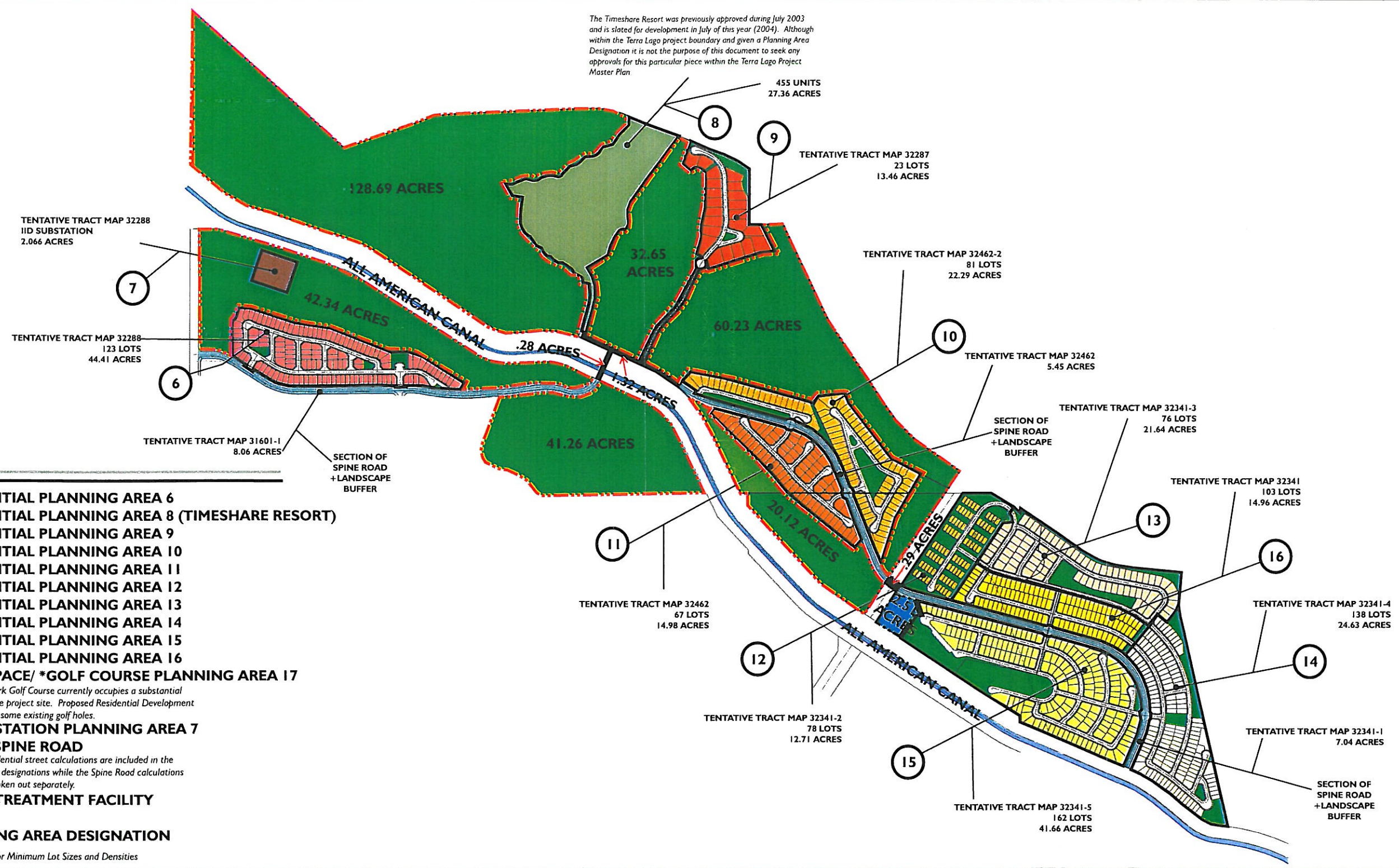
The Timeshare Resort was previously approved during July 2003 and is slated for development in July of this year (2004). Although within the Terra Lago project boundary and given a Planning Area Designation it is not the purpose of this document to seek any approvals for this particular piece within the Terra Lago Project Master Plan.

LEGEND

- RESIDENTIAL PLANNING AREA 6
- RESIDENTIAL PLANNING AREA 8 (TIMESHARE RESORT)
- RESIDENTIAL PLANNING AREA 9
- RESIDENTIAL PLANNING AREA 10
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- RESIDENTIAL PLANNING AREA 12
- RESIDENTIAL PLANNING AREA 13
- RESIDENTIAL PLANNING AREA 14
- RESIDENTIAL PLANNING AREA 15
- RESIDENTIAL PLANNING AREA 16
- OPEN SPACE/ *GOLF COURSE PLANNING AREA 17
- IID SUBSTATION PLANNING AREA 7
- MAJOR SPINE ROAD
- WATER TREATMENT FACILITY

6-16 PLANNING AREA DESIGNATION

*Please Refer to Table 3-1 for Minimum Lot Sizes and Densities



PLANNING AREA IN RELATION TO TENTATIVE TRACT MAPS



TERRA LAGO
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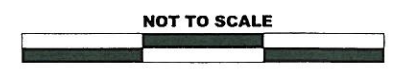
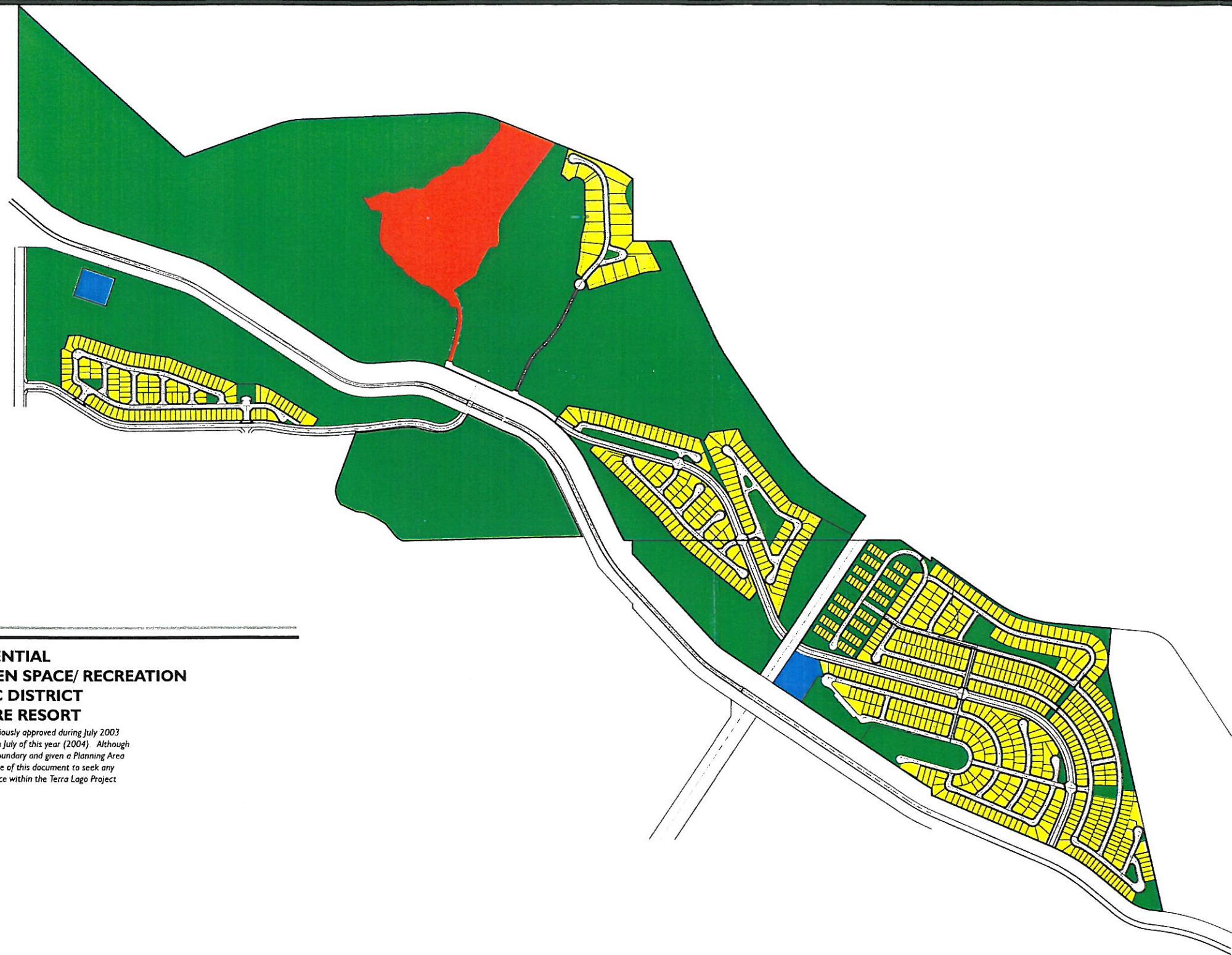


Figure 3-3



LEGEND

- R - RESIDENTIAL
- OS/R - OPEN SPACE/ RECREATION
- P - PUBLIC DISTRICT
- TIMESHARE RESORT

The Timeshare Resort was previously approved during July 2003 and is slated for development in July of this year (2004). Although within the Terra Lago project boundary and given a Planning Area Designation it is not the purpose of this document to seek any approvals for this particular piece within the Terra Lago Project Master Plan

STREETS

CONCEPTUAL LAND USE DISTRICTS



TERRA LAGO
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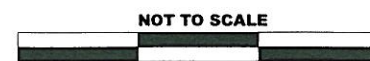


Figure 3-4

3.2.2 Planning Areas In Relation To Tentative Tract Maps

The subdivision of property is achieved by the processing of a tentative tract map or parcel map in accordance with the procedures of the State Subdivision Map Act and the City of Indio Subdivision Ordinance. In the case of Terra Lago, the Project Master Plan is accompanied by multiple Tentative Tract Maps. The Tentative Tract Maps will establish individual residential lots and provide a more detailed design for the Terra Lago Development. The Maps will create parcels of land in conformity with individual Planning Areas or subareas thereof. These parcels may then be used for conveyance or financing purposes. Figure 3-3 depicts the relationship between the Planning Areas and respective Tentatives.

3.2.2 Conceptual Land Use Districts

The following two land use categories will be utilized within the PMP, as indicated in Figure 3-4:

Residential (R):

Types of residential land uses consist of:

1) **High Density Residential:**

a) *Planning Area 12 – minimum lot size 2,100 sq. ft (Green Court Lots).*

2) **Medium Density Residential:**

a) *Planning Area 6 - minimum lot size 4,000 sq. ft.*

b) *Planning Area 10 - minimum lot size 5,000 sq. ft.*

c) *Planning Area 11 - minimum lot size 5,000 sq. ft.*

d) *Planning Area 13 - minimum lot size 5,500 sq. ft.*

e) *Planning Area 14 - minimum lot size 3,800 sq. ft.*

f) *Planning Area 15 - minimum lot size 4,500 sq. ft.*

g) *Planning Area 16 - minimum lot size 4,000 sq. ft.*

3) **Low Density Residential:**

a) *Residential Planning Area 9 - minimum lot size 10,000 sq. ft. (Estate Lots)*

Open Space/Recreation (OS/R):

Types of recreation and open space land uses consist of:

1) **Golf Course:**

a) *Planning Area 17 - The Landmark Golf Course (including existing golf clubhouse, Pavilion and associated parking) currently occupies a substantial portion of the project site. Proposed residential development will relocate some existing golf holes.*

2) **Recreation Center:**

a) *Within Planning Area 15 - The Recreation Center will potentially include a clubhouse, pool, lawn bowling, bocce, tennis, picnic facilities, walking garden and parking.*

Other types of recreation and open space land uses consist of, lakes, multi-use retention basins, and

pedestrian pathways.

Public District (P):

The Public District designation provides for a variety of public or quasi-public facilities which support the community and are operated by governmental agencies or non-profit organizations.

Types of Public District land uses consist of:

1) *Substation*

a) Planning Area 7 – Imperial Irrigation Substation 2.07 acres

2) *Domestic Water Treatment Facility*

a) Although not delineated as a separate Planning Area, 2.5 acres will be set aside for a domestic water treatment facility adjacent to Planning Area 15.

Timeshare Resort:

1) *Timeshare Resort*

a) Planning Area 8 - The Timeshare resort was previously approved during July, 2003 and is slated for development in July of this year (2004). Although within the Terra Lago project boundary and given a Planning Area designation, it is not the purpose of this document to seek any approvals for this particular piece within the Terra Lago Project Master Plan.

3.2.3 Land Use Regulations

In order to ensure the orderly development of the Terra Lago PMP, land use regulations have been created for the project. These specific standards, discussed in detail in Section 4.0, Regulations and Procedures, will assist in accommodating the proposed development and provide adequate transitions to neighboring land uses.

In addition to the specific standards outlined in Section 4.0, project-wide development standards have also been prepared to complement those applicable to each individual Planning Area. These general standards are:

1. The Terra Lago PMP may be developed with a maximum of 851 dwelling units on approximately 563 acres, as illustrated by the Conceptual Land Use Plan (Figure 3-1).

The general residential product type shall be characterized by one to two-story, single-family detached homes.

The Residential Land Use Districts provide for open space including, golf course, pedestrian/park access and a Recreation Center in Planning Area No. 15. Please refer to Section 4.0 Development Regulations and Procedures for a complete discussion of permitted, conditional and prohibited uses.

2. All subsequent development within the PMP shall require design review and Planning Commission approval pursuant to the procedures prescribed in Section 6.0 of this PMP; and subject to the design and development guidelines as prescribed in Section 5.0 of this PMP. Any major proposed revisions to the project entries and perimeter walls contained within this PMP as

determined by the Director of Community development services will require design review and Planning Commission approval.

3. The City of Indio General Plan allows the transfer of densities within an RPD overlay designation. Transfer of dwelling units may occur between land use designations, provided that the transfer does not increase the overall density of 3.5 du/ac. Regardless of any unit transfers, the overall number of units allowed by the City of Indio, in the Terra Lago Project Master Plan is 851 dwelling units. Major Density transfers subsequent to the adoption of this PMP as determined by the Director of Community Development Services shall be subject to the review and approval of the Planning Commission pursuant to Section 6.0 of this PMP.
4. Major deviations to development standards, street locations, retention basin locations and other similar project features/components as approved in the Terra Lago PMP as determined by the Director of Community Development Services may be subject to the approval of the Planning Commission.
5. Development of the property shall be in accordance with the mandatory requirements of all City ordinances, State laws, and shall conform substantially with the Terra Lago PMP, and its subsequent amendments as filed in the City of Indio.
6. Lots within the project boundary shall be in conformance with the development standards of the Terra Lago PMP.
7. Construction of the proposed project including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, public facilities, and infrastructure are constructed to adequately service the dwelling units, or as needed for public health and safety, in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the PMP.
8. The design and location of retention basins to retain 100-storm event will be provided at the tentative tract map stage for review and approval.
9. In lieu of well sites, the applicant/developer shall dedicate 2.5 acres for a domestic water treatment facility.
10. The applicant/developer shall be responsible for paying all of the development fees and charges.
11. The applicant/developer shall comply with all standards and conditions as set forth in this PMP.

3.3 CONCEPTUAL CIRCULATION MASTER PLAN

3.3.1 Conceptual Circulation Master Plan Description

The main objective of the Conceptual Circulation Master Plan (Figure 3-5) is to provide direct and convenient access to individual residential neighborhoods through a safe and efficient network. This will include improvements to the Landmark Golf Parkway portion of the Spine Road (as introduced in Section 3.1 of this document) and improvements at the intersection of the Spine Road and Avenue 44. Although the Landmark Golf Parkway portion of the Spine Road currently exists, a name change will occur to ensure consistency with the project. The new street name for

the Spine Road will be called Via Terra Lago. To minimize confusion, the new street name designation has been excluded from this document.

- The City of Indio General Plan Circulation Element currently designates Avenue 44 as a Major Roadway (100' R/W) and Golf Center Parkway as an Arterial Roadway (110' R/W).

3.3.2 Circulation Master Plan Development Standards

1. The proposed Circulation Master Plan provides an efficient traffic design that meets the needs of the project. The on-site system depicted on the Conceptual Circulation Plan (Figure 3-5) has been derived from the Circulation Master Plan outlined in the project Traffic Analysis and will serve as the composite Circulation Plan for the Terra Lago PMP.
2. Heavy through traffic will be eliminated from residential neighborhoods with the incorporation of intersections extending off of the major spine road. This street will be implemented as a private, but open to the public, roadway for individual residences.
3. The subdivision shall comply with the on-site street improvement recommendations and/or mitigations outlined in the project traffic analysis.
4. Roads will be constructed as:
 - Primary Entry/Collector Road (86' R/W) – The Primary Entry/Collector Road (Figure 5-14) will be constructed with full-width improvements as a Secondary Roadway. The Primary Entry/Collector will include 36' of pavement with 8' meandering sidewalks on each side of the street.
 - Residential Street Level 1 (56' R/W) – Some internal streets within the project boundary will be constructed as Residential Street Level 1 (Figure 5-15). Residential Street Level 1 will include 36' of pavement, wedge curb with adjacent landscape parkway and a 5' sidewalk (both sides within 10 foot landscape and public utility easements).
 - Residential Street Level 2 (56' R/W) - Some internal streets within the project boundary will be constructed as Residential Street Level 2. Residential Street Level 2 will include 36' of pavement, wedge curb, no sidewalks, and 10' Public utility easements on each side.
5. Landscape requirements will be based on street widths in accordance with the Circulation Cross Section diagrams as depicted in Figures 5-14 and 5-15 of this document. The Applicant shall submit detailed landscape plans for review and approval.
6. All roads shall be constructed to City of Indio standards or as modified in accordance with the standards per this PMP.
7. The project shall comply with the conditions and requirements set forth by the City of Indio Public Works Department.
8. On-street parking shall be allowed on all streets except the Community Collector Road. Parking on the Community Collector Road shall only be allowed in the event of an emergency.
9. The applicant may enter into a reimbursable agreement, post a bond, or form an assessment district, or other financial mechanism acceptable to the City to construct

off-site improvements on Avenue 44 and Landmark Golf Parkway. All proposed driveways shall be per American Public Works standard drawing No. 110-1 Type A. These improvements include:






- Asphaltic concrete pavement;
 - Connecting asphalt concrete pavement;
 - Curb and gutter;
 - Sidewalk;
 - Street lights; and
 - Other improvements required by other City Departments, per City standards, which need to be reflected on the improvement plans.
10. The applicant/developer shall submit a complete package to the Engineering Services Department for approval. This package shall include:
- PM 10 implementation plans;
 - Master grading plans;
 - Water plans;
 - Street improvement plans;
 - Street light plans;
 - Composite utility plans;
 - Soils report;
 - Striping plans; and
 - Hydraulic calculations (water and storm drain).
11. The applicant/developer shall contribute their fair share cost of installation of a traffic signal at the intersection of The Spine Road and Avenue 44.
12. Construction of a deceleration/acceleration lane along Avenue 44 shall be contained within the Avenue 44 right of way (100'). No additional right-of-way shall be required to be dedicated to the City.
13. Blue reflective pavement markers shall be mounted on private streets, public streets and driveways to indicate the location of a fire hydrant. Prior to installation, placement of markers must be approved by the Fire Department.
14. Whenever access into private property is controlled through the use of gates, barriers, guardhouses, or similar means, provisions shall be made to facilitate access devices that are power operated, shall have an approved override system capable of opening the gate when activated by a special key located in emergency vehicles. Devices shall be equipped with backup facilities to operate in the event of power failure. The fire department shall also approve all controlled access devices that are not power operated. Access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
15. Approved addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property.
16. All proposed emergency access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
17. All interior streets shall meet Indio City standards and all turning radii shall be

approved by the Fire Department. Plans for all entrances shall be approved by the Fire Department. Proposed interior streets are in conformance with the previously approved Hills PMP.

18. The minimum grade or as adjusted by the Engineering Services Department on concrete shall be 0.50% and the minimum grade on asphalt shall be 1.0%, or as adjusted by the city engineer.



LEGEND

-  SITE ENTRY/PUBLIC ACCESS POINT
-  MAJOR SPINE ROAD
-  INTERNAL RESIDENTIAL ROAD SYSTEM
-  BRIDGE CROSSING
-  SIGNALIZED INTERSECTION

CONCEPTUAL CIRCULATION PLAN

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TERRA LAGO
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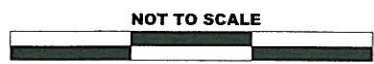


Figure 3-5

3.4 CONCEPTUAL WATER AND SEWER MASTER PLANS

3.4.1 Water and Sewer Master Plan Descriptions

The Terra Lago PMP is located within the jurisdiction of the City of Indio for domestic water service. The project site is located within the Valley Sanitary District for sanitary sewer service. Figures 3-6 and 3-7 show the conceptual water and sewer design for the Terra Lago Project.

Water and Sewer Plans (Figures 3-6 and 3-7)

A water and sewer plan will be developed to serve the project site. The water plan will include a combination of 8", 12", and 18" inch lines. An 18" water line is proposed to extend in Landmark Golf Parkway through the project (within the spine road) and in Avenue 44 westerly to the existing 18" east of Golf Center Parkway. A combination of 12" and 8" lines will extend off of Landmark Golf Parkway and Avenue 44 and loop within the project. The sewer system will include a combination of 8", 10", and 12" inch lines.

3.4.2 Conceptual Water and Sewer Master Plan Development Standards

1. The applicant/developer shall submit a water and sewer plan to the City at the time the tentative tract map is submitted for review and approval.
2. All water and sewer lines will be designed per the City and Valley Sanitary District requirements.
3. Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the City and the Riverside County Health Department.
4. The applicant/developer shall submit information which provides estimates of the project's water demand and landscape/irrigation conceptual plans at the time the tentative tract map is submitted to City for review. At the time of the City's review, a determination shall be made regarding requirements for reclaimed water use and system improvements for the project.
5. The project shall comply with the City of Indio requirements for installation of on-site reclaimed water lines, if required.
6. The applicant/developer shall provide or show there exists a water system capable of delivering 1,500 gallons per minute for a 2 hour duration at 20 psi residual operating pressure, which must be available before any combustible material is placed on the job site.
7. Approved fire hydrants shall be located at each street intersection, spaced not more than 500 feet apart in any direction, with no portion of any lot more than 250 feet apart from a fire hydrant. Fire hydrants are not required on streets that prohibit residential driveways.
8. The applicant/developer shall furnish one copy of the water system plan to the Fire Department for review and approval. Plans shall conform to the hydrant types, location and spacing, and the system shall meet fire flow requirements. The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency, prior to any combustible building materials being placed on the job site.
9. Additional fire flow may be required for club houses, maintenance facilities, or other commercial or public buildings. This fire flow shall be determined when building plans are reviewed. Additional fire protection systems may be required.

10. The applicant/developer shall design for domestic water and minimum fire flow requirements to the project in compliance with City of Indio standards and provide hydraulic calculations for Engineering Services and Fire Department review and approval. The existing water main along Avenue 44 shall be extended from its existing location to the eastern property line of the proposed project. The proposed water network shall be designed for the required volume and pressure. Developer shall receive credit for installation of improvements along Avenue 44.
12. The applicant/developer is required to enter into a Development-Sanitation System Agreement with the Valley Sanitation District.
13. The developer/applicant shall coordinate with the water purveyor in the preparation of a water study in accordance with SB221 prior to the first tentative tract map submittal.

3.5 CONCEPTUAL GRADING MASTER PLAN

3.5.1 Grading Master Plan Description

Figure 3-8 illustrates the Conceptual Grading Master Plan for the Terra Lago PMP area located north of Avenue 44 and east of Golf Center Parkway. The natural drainage of the site is generally northeast to southwest between the USCOE (United States Core of Engineers) levee and the All-American Canal. The intent of the Conceptual Grading Master Plan is to produce buildable parcels by a cutting of the higher areas to fill in the lower areas and achieve generally flat development pads for development. The proposed grading will result in ground elevations, which are typically within 1 to 10 feet of the existing grade. The building pad areas will be graded to approximately .5% with circulation and parking areas graded to an average of 2% to 3%. It is anticipated that the mass grading will be completed in a single phase, with precise grading completed in phases.

The goals of the Conceptual Grading Master Plan are to mitigate flood hazards of the site, provide stable areas for proposed land uses, and maintain current sedimentation rates.

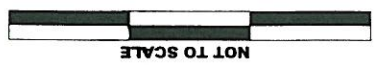
3.5.1 Conceptual Grading Master Plan Development Standards

1. All work shall be in accordance with the City of Indio grading standards and any special requirements of the grading permit.
2. Subdrain installation shall be approved by the City of Indio and the project soils engineer and civil engineer. The property owner or developer(s) will maintain all subdrains.
3. All proposed drainage shall comply with the drainage standards administered by the City of Indio.
4. Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage shall be directed toward de-silting facilities.
5. The applicant/developer shall be responsible for preventing public trespass onto areas where impounded water creates a hazardous condition.
6. The applicant/developer shall prepare and file an NOI and NPDES permit containing a Best Management Practices Plan and Storm Water Pollution Prevention Plan with the City of Indio.
7. All site preparation, grading and compacting of soils shall be done in accordance with the recommendations outlined in the Geotechnical Report prepared by Earth Systems. A licensed geotechnical engineer shall observe site clearing, grading and the bottom of excavations prior to placing fill. Local variations in soil conditions may warrant increasing the depth of compaction and over-excavation. A copy of this report shall be made available to the structural engineer that prepares any construction drawings for public or private improvements of the project.
8. A licensed geotechnical engineer shall observe foundation excavations prior to the placement of reinforcing steel or concrete. Any loose soil or construction debris shall be removed from footing excavations prior to the placement of concrete.
9. Over-excavating and compaction shall be done to the upper four feet of soils below existing grade in the building area where recommended by a licensed geotechnical engineer. The over-excavation shall extend for five feet beyond the outer edge of the building slabs and/or





- footings. The bottom of the sub-excavation shall be scarified, moisture conditioned, and compacted to at least 90% relative compaction for an additional depth of 12 inches. Moisture penetration to near optimum moisture shall extend at least 5 feet below existing grade and be verified by testing.
10. A Fugitive Dust PM-10 Mitigation Plan shall be submitted prior to the issuance of any grading plans and building permits. The applicant shall utilize the mitigation measures contained in the Air Quality Analysis prepared for The Hills Project Master Plan, during construction of the project.
 11. The applicant/developer shall comply with the Phase II Environmental Investigation requirements by removing the contaminated soil before grading activities begin. A report shall be submitted to the City indicating that the contaminated soil area is clean of pesticides and petroleum prior to issuance of a grading permit.
 12. The applicant/developer shall be required to submit a construction plan prior to issuance of a grading permit indicating construction hours in compliance with the City's General Plan. Construction activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday and construction activities shall be prohibited on Sundays or on national holidays with the exception of obtaining a special permit.
 13. All grading and excavation in areas identified as likely to contain paleontological/archeological resources shall be monitored by a qualified paleontologist/archeologist. The monitor shall be equipped to salvage fossils as they are unearthed to avoid construction delays and to remove samples of sediment which are likely to contain the remains of small fossil invertebrates and vertebrates. The monitor shall have the authority to halt or divert grading equipment to allow for removal of abundant or large specimens.
 14. The applicant/developer shall pay a mitigation fee of \$600 per acre of existing vacant land, that has been undisturbed, with native vegetation to the City of Indio, as part of the habitat conservation plan for the purpose of the milk-vetch, Coachella Valley fringe-toed lizard and other threatened or endangered species. This fee shall be paid no later than 12 months after the issuance of a grading permit.
 15. The applicant/developer shall design the project to retain 100 year storm water for a 24-hour duration, on site for project generated runoff (developed & undeveloped) for existing and ultimate conditions and accept upstream incoming runoff on any proposed additional impervious improvement. There shall be no ponding in the retention basins during dry weather. The retention basins shall have landscaping as required by the PMP.
 16. Retaining walls shall be required if slopes are in excess of 2:1 between lots throughout the project and in relation to adjacent boundary properties.
 17. A comprehensive soils report shall be provided for any tentative tract map.
 21. A grading plan shall be submitted along with the PM-10 plan.

CONCEPTUAL WATER PLAN

Figure 3-6



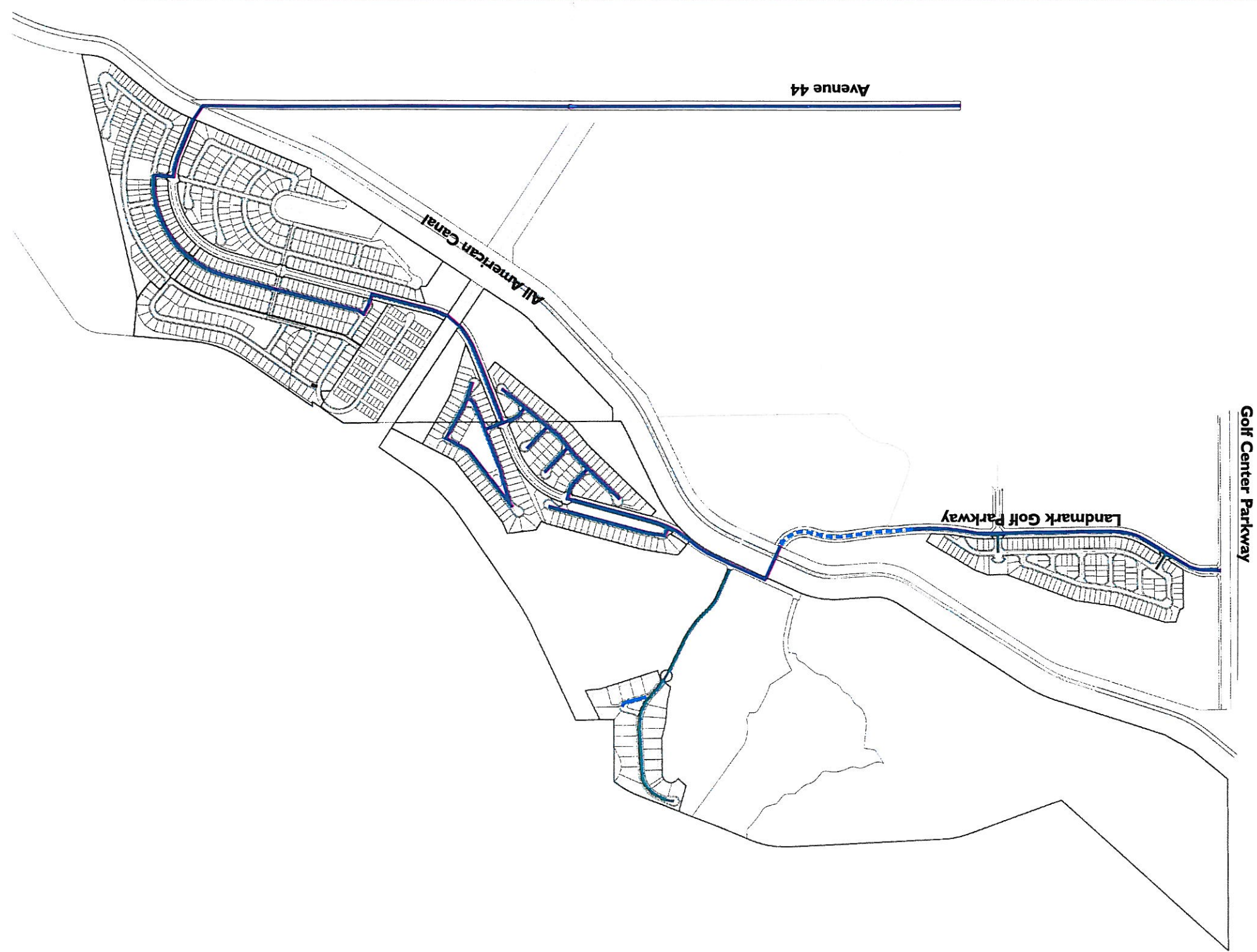
LEGEND

	18" Ductile Iron Pipe
	18" Ductile Iron Pipe
	12" Ductile Iron Pipe
	8" Ductile Iron Pipe

PROPOSED

EXISTING

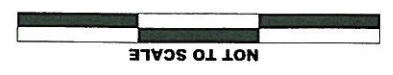
*Those Streets not marked are 8" Ductile Iron Pipe



CONCEPTUAL SEWER PLAN

The Keith Companies
TKC

Figure 3-7



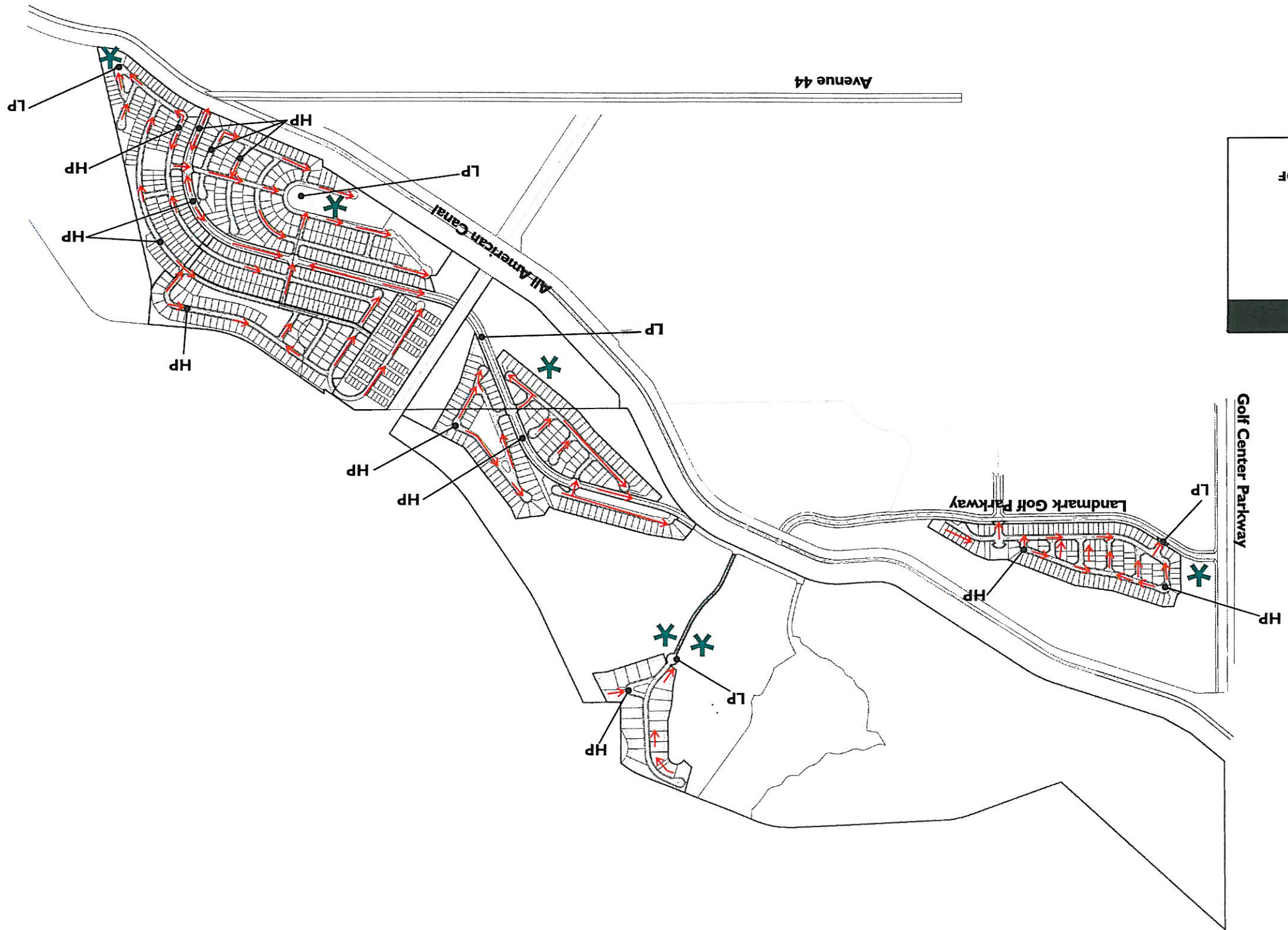
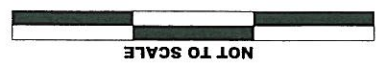
LEGEND	
10" EXISTING	Red dashed line
12" PVC	Blue solid line
10" PVC	Green solid line
8" PVC	Dark blue solid line



CONCEPTUAL GRADING PLAN

The Keith Companies
TKC

Figure 3-8



LEGEND

- DIRECTION OF FLOW
- HIGH POINT
- LOW POINT
- CONCEPTUAL LOCATIONS OF PARKS/RETENTION BASINS

***4.0 PLANNING AREA DEVELOPMENT
STANDARDS***

4.0 PLANNING AREAS

General Summary

In order to accomplish the task of designing the project in a comprehensive manner, the site was divided into 12 planning areas (6 - 17), which provide for detailed analysis. The size, location and configuration of the individual planning areas were determined on the basis of a variety of design considerations including topography, drainage, circulation, and other physical features and land use determinants, along with a consideration of the relationship of the planning area to adjoining and surrounding land uses.

This chapter provides a description of each individual planning area comprising the Terra Lago Project Master Plan. The description of each planning area will be followed by a list of design features/standards anticipated for the particular planning area and an exhibit detailing the above-mentioned information in terms of development density, access, roadway landscape treatments, monumentation, adjacent land uses and other planning regulations and criteria as appropriate.

The Terra Lago project includes 851 dwelling units on 53.64 acres. Typical residential product type shall be characterized by one to two-story, single-family detached homes. The Terra Lago project also includes a number of noteworthy recreational amenities that are integrated into the project. The most prominent of these is the Landmark Lakes Golf Course which takes advantage of project topography and views. Although the golf course is complete and currently functioning, proposed residential development will relocate some of the existing holes. In addition to the golf course, the project will potentially provide an active recreational facility, which will be restricted to the residents of the project site. The Recreation Center may include, but is not limited to, a clubhouse, outdoor tennis courts, lawn bowling, bocce, picnic facilities, restrooms and a walking garden. Additional Parks/Retention basins are also located in various portions of the project site.

4.1 PLANNING AREA NO. 6 (RESIDENTIAL)

4.1.1 Descriptive Summary

Residential Planning Area (RPA) No. 6 will be a Medium Density Residential neighborhood with minimum lot sizes of 4,000 square feet. RPA No. 6 contains 123 dwelling units on 22.79 acres located in the southwestern corner of the Terra Lago project site. RPA No. 6 is bounded on its south side by Landmark Golf Parkway which provides entry into the site. In addition, portions of Landmark Lakes Golf Course (South Course) border the eastern, western and northern portions of the planning area providing some lots with spectacular views of holes 2,7,8, and 9. Furthermore, three lakes located along the 8th hole of the golf course will provide scenic beauty for the majority of residents within the planning area.

4.1.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-1
Permitted Uses in Residential Planning Area No. 6

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.1.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 6 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.2 PLANNING AREA NO. 7 (PUBLIC DISTRICT - IID SUBSTATION)

4.2.1 Descriptive Summary

Planning Area No. 7 will be constructed as a new Imperial Irrigation District (I.I.D.) substation. The substation will serve new development in the general area, including the proposed project. Figure 3-2 depicts the location of the proposed substation. As shown, the site of the proposed substation is located about 500-600 feet southeast of the Avenue 42/Golf Center Parkway intersection, immediately north of Residential Planning Area No. 6.

The site for the potential substation will be rectangular in shape with approximately 300 feet per side (a total land area just over 2.07 acres). The site of the proposed substation is in view of several Landmark Golf Club holes and will be visible to some extent from high-end residences in Planning Area No. 6, immediately to the south. This circumstance serves as great incentive for the project applicant to develop, implement, and maintain a viable long-term screening program along the entire substation site perimeter. The facility will be locked at all times other than during bi-monthly routine inspection expected to be conducted by I.I.D. personnel.

4.2.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-2
Permitted Uses in Planning Area No. 7

LAND USE	PERMITTED
Public District (Public Utility)	✓

4.2.3 Planning Standards

General Development Standards

- * All onsite electrical power control, management (i.e. step down transformers, etc.) and distribution facilities shall be constructed in full compliance with applicable governmental codes and standards, and will reflect state of the art electrical power industry safety designs and technologies.
- * All fixed in-place facilities shall be constructed on and anchored to concrete slabs.
- * Other than areas used by maintenance vehicles for either parking or on-site circulation, or the area dedicated to the aforementioned fixed substation facilities, all other areas within the substation boundary will be covered by gravel.

4.3. PLANNING AREA NO. 8 (VACATION CLUB LOCATION-TRENDWEST)

4.3.1 Descriptive Summary

Planning Area (PA) No. 8 will be constructed as a timeshare resort. PA No. 8 contains 455 Vacation Ownership Units (VOU's) on 27.3 acres located on the north side of Landmark Golf Parkway, to the northwest of the existing clubhouse. The timeshare Resort (Vacation Club Location) was approved in July of 2003 by the Indio City Council. The timeshare resort was found to be consistent with the zoning ordinance and compatible with the present and future logical growth of the RPD-4 area (as envisioned by the purposes of the General Plan). The VOUs will provide high-density residential resort uses within a golf club setting.

The timeshare resort site plan includes seven three-story buildings, seven four-story buildings, and five single-story support buildings. The three and four-story structures create the main perimeter of the complex. The main building/reception area includes a porte-cochere structure and circular driveway. Open parking and carports are intended to be within short walking distance of all the dwelling units. The internal open space will have a variety of recreational opportunities for residents including swimming pools, spas, kid's pools, interactive water play area, cabana/shade structures, lazy river with rock island feature, BBQ areas, and streams. There are tennis courts and sports court areas in the northwestern portion of the Planning Area, behind the carport structures. Development is slated to begin during July of 2004.

4.3.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "--", the use is prohibited within that land use district.

Table 4-3

Permitted Uses in Planning Area No. 8

LAND USE	
PERMITTED	✓
<i>Resort</i>	✓
<i>Open Space/Recreation</i>	✓

4.2.3 Planning Standards

General Development Standards

* The approval of the timeshare resort was finalized in July of 2003. Documentation regarding Development standards can be acquired at the City of Indio Community Development Department.

4.4 PLANNING AREA NO. 9 (RESIDENTIAL)

4.4.1 Descriptive Summary

Residential Planning Area (RPA) No. 9 will be a Low Density Residential neighborhood with minimum lot sizes of 10,000 square feet. RPA No. 9 will provide the Terra Lago project with large single family estate size lots. RPA No. 9 contains 23 dwelling units on 13.46 acres located east of the timeshare resort and northeast of the existing clubhouse. RPA No. 9 is completely surrounded by holes 10 through 15 of the Landmark Lakes Golf Course (North Course). The planning area layout will provide each individual lot with an exclusive view of the Golf Course. In addition, several lots will take advantage of the scenic quality exhibited by a large lake currently existing between the 14th, 15th and 18th greens.

4.4.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "--", the use is prohibited within that land use district.

Table 4-4

Permitted Uses in Residential Planning Area No. 9

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.4.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 9 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.5 PLANNING AREAS NO. 10 & 11 (RESIDENTIAL)

4.5.1 Descriptive Summary

Residential Planning Areas No. 10 and 11 will be Medium Density Residential neighborhoods with minimum lot sizes of 5,000 square feet. The Planning Areas are surrounded by Landmark Lakes Golf Course (South Course) and are centrally located within the Terra Lago project site. The major spine road bisects the Planning Areas establishing separation and creating neighborhood boundaries. RPA No. 10 contains 81 single family dwelling units on 22.29 acres. RPA No. 11 contains 67 single family dwelling units on 14.98 acres.

4.5.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-5

Permitted Uses in Residential Planning Areas No. 10 & 11

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.5.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 10 and 11 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.6 PLANNING AREA NO. 12 (RESIDENTIAL)

4.6.1 Descriptive Summary

Residential Planning Area (RPA) No. 12 will be a High Density Residential neighborhood with minimum lot sizes of 2,100 square feet. RPA No. 12 will provide the Terra Lago project with smaller "Green Court" lots. The lots within this planning area are intentionally designed to provide housing variety within the project area. Couples, seniors and single person households will find the product type in this planning area desirable. RPA No. 12 contains 78 dwelling units on 12.71 acres in the southwestern corner of the Terra Lago project site. RPA No. 12 is bounded on its south side by RPA No. 15 and on its east side by RPA No. 13 and No. 14.

4.6.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-6
Permitted Uses in Residential Planning Area No. 12

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.6.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 12 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.7 PLANNING AREA NO. 13 (RESIDENTIAL)

4.7.1 Descriptive Summary

Residential Planning Area (RPA) No. 13 will be a Medium Density Residential neighborhood with minimum lot sizes of 5,500 square feet. RPA No. 13 contains 76 dwelling units on 21.64 acres located in the eastern section of the Terra Lago project site. RPA No. 13 is bounded on its south side by RPA No 16. In addition, portions of RPA No. 14 and RPA No. 12 border the western and eastern portions of the Planning Area. Approximately ¼ of the Planning Area is dedicated to open space.

4.7.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-7

Permitted Uses in Residential Planning Area No. 13

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.7.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 13 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.8 PLANNING AREA NO. 14 (RESIDENTIAL)

4.8.1 Descriptive Summary

Residential Planning Area (RPA) No. 14 will be a Medium Density Residential neighborhood with minimum lot sizes of 3,800 square feet. RPA No. 14 contains 138 lots on 24.63 acres and is located in the southeastern corner of the project site. RPA No. 14 is bounded on its south side by the All American Canal which conveys water from the Colorado River into the Coachella Valley. Access into RPA No. 14 is provided by way of the major Spine Road which borders the western portion of the Planning Area. Open space corridors are located along the eastern portion of the planning area parallel to the project boundary line. In addition to the open space corridors a park/retention basin is situated in the southeastern corner of the planning area.

4.8.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-8

Permitted Uses in Residential Planning Area No. 14

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.8.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 14 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall

require design review and Planning Commission approval.

4.9 PLANNING AREA NO. 15 (RESIDENTIAL)

4.9.1 Descriptive Summary

Residential Planning Area (RPA) No. 15 will be a Medium Density Residential neighborhood with minimum lot sizes of 4,500 square feet. RPA No. 15 contains 162 lots on 41.66 acres and is located in the southeastern portion of the project site. RPA No. 15 is bounded on its north side by RPA No. 16 and on its south side by the All American Canal which conveys water from the Colorado River into the Coachella Valley. RPA No. 16 has been intentionally designed for a potential future Recreation Center. The Recreation Center will offer a variety of activities for residents of the Terra Lago project. The Recreation Center may include, but is not limited to, a clubhouse, outdoor tennis courts, lawn bowling, bocce, picnic facilities, restrooms and a walking garden. Additional Parks/Retention basins are also located in various portions of the project site.

4.9.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-9

Permitted Uses in Residential Planning Area No. 15

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.9.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 15 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.10 PLANNING AREA NO. 16 (RESIDENTIAL)

4.10.1 Descriptive Summary

Residential Planning Area (RPA) No. 16 will be a Medium Density Residential neighborhood with minimum lot sizes of 4,000 square feet. RPA No. 16 contains 103 dwelling units on 14.96 acres located in the southern portion of the Terra Lago project site. RPA No. 16 is centrally located between

Residential Planning Areas 12 through 15. Access to the planning area is provided via the major spine road which borders the planning area to the south. The planning area is bisected by an internal roadway which provides entry into RPA No.13.

4.10.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "--", the use is prohibited within that land use district.

Table 4-10

Permitted Uses in Residential Planning Area No. 16

LAND USE	PERMITTED
Residential	✓
Open Space/Recreation	✓

4.10.3 Planning Standards

General Development Standards

- * Residential unit design shall require design review and Planning Commission approval.
- * Residential development shall be in accordance with the standards for RPA 16 as contained in Table 4-14.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.

4.11 PLANNING AREA NO. 17 (GOLF COURSE/OPEN SPACE DISTRICT)

4.11.1 Descriptive Summary

Planning Area No. 17 is the focal point of development and includes two championship par 72 golf courses each approximately 7,200 yards in length. Named Landmark Golf Club this 36-hole, desert oasis was created for professional golf events by Schmidt Curley Design to promote spirit and competition of the game of golf. The design of the courses meld traditions of golf with the power of the land through a variety of landforms, steep slopes, three refreshing lakes, different soil types, rolling sand dunes and natural desert vegetation. Water features create dramatic and challenging holes for the amateur as well as the professional golfer. Dramatic views of the valley along with the picturesque Indio Hills combine to provide the golfers with a unique golfing experience.

Landmark Golf Club hosted the prestigious Skins Game from 1999 to 2002, witnessing competition between such golf greats as Tiger Woods, Greg Norman, Fred Couples, Phil Mickelson, Mark O'Meara, Sergio Garcia, David Duval, Colin Montgomerie, Vijay Singh and Jasper Parnevik.

The clubhouse, consisting of approximately 20,000 square feet, is the hub of the two 18 hole courses. Each nine holes of play finish at the clubhouse facility. The clubhouse features a fully stocked

pro shop, food service and storage of golf carts below the main level of the clubhouse. The existing site plans for the clubhouse and maintenance facility, approximately 9,000 square feet, are shown in Figure 2-7. It is intended that the aforementioned uses remain and that enhancement and golf related support uses be allowed in this planning area.

Although the Golf Course has been completed and the majority of holes will remain unchanged, future residential development will require some relocation of golf holes within the North and South Courses.

4.11.2 Land Use and Development Standards

Permitted Uses

Where indicated with an "✓", the use shall be permitted. Where indicated with a "-", the use is prohibited within that land use district.

Table 4-11

Permitted Uses in Residential Planning Area No. 17

LAND USE	PERMITTED
Golf Course	✓
Open Space/Recreation	✓

4.11.3 Planning Standards

General Development Standards

- * General Development Standards associated with the golf course and accessory uses (golf clubhouse, pavilion, parking) shall follow the requirements set forth in the Hills Project Master Plan (96-8-10) and the Conceptual Specific Plan RPD-4 (96-8-7). Copies of the following documents can be found at the City of Indio Community Development Department.
- * Landscaping design for retention basins/open space parks and common landscaped areas shall require design review and Planning Commission approval.
- * The Indio Municipal Code (159.395) states that General Development Standards associated with the Open Space District are determined on a case by case basis, based on the compatibility of the proposed use with existing or proposed uses surrounding the site.

4.12 COMPREHENSIVE LAND USE AND DEVELOPMENT SUMMARY

Purpose

The list of land uses in the following table shall be permitted in one or more of the residential districts as indicated in the columns corresponding to each residential land use district.

Table 4-12 Permitted Uses In Residential Districts

Permitted Land Uses	P (Permitted)		C (Conditional Use Permit)		- (Prohibited)	
	MIN LOT SIZE	LOT SIZE	MIN LOT SIZE	LOT SIZE	MIN LOT SIZE	LOT SIZE
RPA 6	4,000 SF					
RPA 9	10,000 SF					
RPA 10	5,000 SF					
RPA 11	5,000 SF					
RPA 12	2,100 SF					
RPA 13	5,500 SF					
RPA 14	3,800 SF					
RPA 15	4,500 SF					
RPA 16	4,000 SF					
Single family detached dwellings	P	P	P	P	P	P
One unit per lot. Each dwelling individually owned.						
Duplexes	-	-	-	-	P	-
Duplexes include two (2) attached units on two (2) lots with a common wall between the units.						
Zero lot line development	P	P	P	P	P	P
Zipper lot configuration development	P	-	-	-	P	-
One unit per lot. Each unit individually owned. Vary depth of rear lot line to concentrate open space on one side.						
Accessory buildings, uses or structures as defined by Indio Code	P	P	P	P	P	P
Home Occupations pursuant to Section 159.500 et seq. of Indio Code	P	P	P	P	P	P
Licensed in home day care for up to 12 children subject to 159.525-159.531 of the City of Indio Zoning Ordinance	P	P	P	P	P	P

Permitted Land Uses	P (Permitted)			C (Conditional Use Permit)			- (Prohibited)		
	MIN LOT SIZE	LOT SIZE	LOT SIZE	MIN LOT SIZE	LOT SIZE	LOT SIZE	MIN LOT SIZE	LOT SIZE	LOT SIZE
Flood control facilities	P	P	P	P	P	P	P	P	P
Common recreational facilities swimming pools, spas, outdoor courts.	P	P	P	P	P	P	P	P	P
Under homeowners' association for maintenance responsibility.									
Well site (1,000 feet separation between each well site)	P	P	P	P	P	P	P	P	P
Shall be subject to design review									
Bed and breakfast facility Maximum stay of 30 days	C	C	C	C	C	C	C	C	C
Guest house or servant's quarter which may not be rented or sold	-	C	-	-	-	-	-	-	-
Senior housing unit (granny flat)	-	C	-	-	-	-	-	-	-
Public utilities	P	P	P	P	P	P	P	P	P
Utilities serving development									
All uses not specified herein shall be prohibited, unless the Planning Commission determines, on a case basis that a particular use is similar in nature to those specified									

Table 4-13 identifies permitted land uses within the Open Space/Recreation (R) district for each alternative. Where indicated with a "P", the use shall be permitted. Where indicated with a "C", the use is permitted by a Conditional Use Permit. Where "-", this use is prohibited within that land use district.

Table 4-13
Permitted Uses in Open Space/Recreation District

Permitted Land Uses		OS/R
Trails		P
Picnic facilities		P
Common Recreational Facilities (swimming pools, spas, outdoor courts and recreation clubhouse with associated amenities)		P
Golf Course and Related Facilities		P
Prohibited Land Uses		OS/R
Commercial Uses		-
Industrial Uses		-

General Residential Development Standards

The following table provides a general overview of the design conditions which are likely to exist in each residential planning area.

Table 4-14
Residential District Development Standards

Residential District Development Standards		- (Prohibited)	
RPA 6	MIN LOT SIZE 4,000 SF	MIN LOT SIZE 10,000 SF	
RPA 9	MIN LOT SIZE 5,000 SF	MIN LOT SIZE 5,000 SF	
RPA 10	MIN LOT SIZE 5,000 SF	MIN LOT SIZE 2,100 SF	
RPA 11	MIN LOT SIZE 5,000 SF	MIN LOT SIZE 2,100 SF	
RPA 12	MIN LOT SIZE 2,100 SF	MIN LOT SIZE 5,500 SF	
RPA 13	MIN LOT SIZE 5,500 SF	MIN LOT SIZE 3,800 SF	
RPA 14	MIN LOT SIZE 3,800 SF	MIN LOT SIZE 4,500 SF	
RPA 15	MIN LOT SIZE 4,500 SF	MIN LOT SIZE 4,000 SF	
RPA 16	MIN LOT SIZE 4,000 SF	MIN LOT SIZE 4,000 SF	

Maximum building height, whichever is the lesser of;
* Architectural features such as cornices, chimneys and bell towers may exceed the height limit by a maximum of four (4) feet above the highest point of the roof.

❖ PLANNING AREA DEVELOPMENT STANDARDS ❖

Residential District Development Standards		- (Prohibited)	
RPA 6	MIN LOT SIZE 4,000 SF	3	10*
RPA 9	MIN LOT SIZE 10,000 SF	3	15*
RPA 10	MIN LOT SIZE 5,000 SF	3	10*
RPA 11	MIN LOT SIZE 5,000 SF	3	10*
RPA 12	MIN LOT SIZE 2,100 SF	3	3
RPA 13	MIN LOT SIZE 5,500 SF	3	10*
RPA 14	MIN LOT SIZE 3,800 SF	3	10*
RPA 15	MIN LOT SIZE 4,500 SF	3	10*
RPA 16	MIN LOT SIZE 4,000 SF	3	10*
		Minimum rear yard setback (feet)	
		*Construction of accessory structures such as trellises, patio covers, gazebos, sheds and misc. permanent structures. No more than 50% of the rear yard shall be covered with the exception of trellises. Trellis shall be defined as any structure made of material arranged in a crossing pattern, and is essentially a ladder for climbing plants. A trellis shall not exceed (15) feet in height.	
		Edge of Pools Spas Jacuzzi's and flatwork	
		Minimum side yard setback	
		Maximum building coverage (Percentage)	
		Minimum garage area (feet)	
		*Each Garage shall have a minimum bulk storage area of 160 cubic feet.	
		*A satellite dish may not be wholly visible from a public or private street except that it may project above a legally established fence or wall by not more than three (3) feet, but not to exceed ten (10) feet in overall height measured from the overall grade of the lot	

General Open Space/Recreation Development Standards

The following standards shall apply in the Open Space/Recreation (OS/R) district

Table 4-15

Open Space/Recreation Development District Standards

Development Standards		OS/R
Minimum acreage for Recreation Center site (gross acreage)	- May include but not limited to,	~7.81
Parks/retention basins (gross acreage)	See TTM's	
Golf Course and related facilities (gross acreage)	~325.29	
Pedestrian Pathways, park benches, tree clusters for shading	N/A	
Maximum building height (feet)	- Structures in the OS/R district may exceed the maximum building height of twenty-five (25) feet, provided that for every (1) foot above the maximum height of twenty-five (25) feet, the front yard setback shall be increased an additional one (1) foot up to ten (10) feet. Thus, the maximum building height shall not exceed thirty-five (35) feet.	35

Implementation of Amenities

Table 4-16 identifies all amenities within the project site and the timing when the amenities need to be constructed.

Table 4-16

Phasing of Amenities

Amenity	Time of Completion
Recreation Center (Planning Area 15)	Prior to the issuance of the 450 th certificate of occupancy permit (project wide)
Golf Course	The relocation of golf course holes are currently under way
Parks/Retention Basin (Planning Area Specific)	Prior to the issuance of the 50 th certificate of occupancy permit in each respective Planning Area.

4.12.1 Planning Standards

Miscellaneous Standards

1. Access into the site will be provided with the extension of Landmark Golf Parkway off of Golf Center Parkway and Avenue 44. Indirect access will also be provided off of internal roads within the project site as illustrated in Figure 3-5.
2. Please refer to Section 3.0 for the following Development Plans and Standards that apply site-wide.

3.2 - Conceptual Land Use Master Plan

3.3	-	Conceptual Circulation Master Plan
3.4	-	Conceptual Water and Sewer Master Plans
3.5	-	Conceptual Grading Master Plan

3. Please refer to Section 5.1 for Design Guidelines and related design criteria.

Entry Treatments

4. Please refer to Section 5.4.1 for Project Entry Treatments and related design criteria.

Streetscape Treatments

5. Please refer to Section 5.4.3 for Streetscape Treatments and related design criteria

Potential Future Recreation Center

6. The Potential Future Recreation Center (within RPA 15) will only serve the residents of the project site. The Recreation Center will potentially include a clubhouse, pool, lawn bowling, bocce, tennis, picnic facilities, walking garden and parking.

Parks/Retention

7. As shown on Figure 3-8, parks/retention basins will be provided throughout the Terra Lago project site. Pathways, park benches and cluster tree groupings for shade will be provided within the park/retention basin with tree up-lighting.

Golf Course

8. General Development Standards associated with the golf course and accessory uses (golf clubhouse, pavilion and parking) shall follow the requirements set forth in the Hills Project Master Plan (96-8-10) and the Conceptual Specific Plan RPD-4 (96-8-7). Copies of the following documents can be found at the City of Indio Community Development Department.

Water Treatment Facility

9. In lieu of well sites, the applicant/developer shall dedicate 2.5 acres for a domestic water treatment facility.

5.0 DESIGN GUIDELINES

5.1 Community Design Guidelines

The design guidelines contained in this chapter are intended to establish design which is consistent with the City of Indio. Examples of the desired design are provided in this section. These exhibits are conceptual and do not depict final designs, nor should they limit the range of expression among individual builders and their professional design teams. The standards for development throughout the City of Indio are found in the City's Development Code. Those standards, the Specific Plan RPD-4 and this document will guide the development of The Terra Lago project.

The design guidelines for the Terra Lago project will:

- Assist in implementing the design intent of the Project Master Plan (PMP) by establishing project design compatibility with the existing design concept of the adjacent golf course development;
- Delineate criteria for enhancing the natural site features, native plant materials and habitat areas; and
- Provide a consistent approach to site planning, building design, street frontage and signage, wall and fence materials and color, lighting, landscaping, and other design elements that will endure for the life of the community.

The design guidelines identify elements for all recreational, residential and other land use proposals within the Terra Lago project. These guidelines shall be incorporated into the subsequent site development permits, conditional use permits, and subdivision maps submitted to the City for approval unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under the circumstances.

5.2 Site Guidelines and Architectural Guidelines

5.2.1 Site Guidelines

Building Massing

Exterior mass and form can be manipulated to improve the street scene by controlling the impact of residential units as they relate to corners, setbacks and each other. Units at corners should have significant one-story mass towards the exterior side yard. At interior side yards, when possible, it is desirable to create the increase of building separation by stepping roof massing away from the property line.

Site Planning

Appropriate site planning guidelines as discussed below should be used in order to ensure functional and aesthetic development. Discretionary application of the guidelines should be used in order to achieve a high quality consistency in design theme. Site Planning Guidelines are as follows:

1. Residential dwelling units may vary setbacks to create visual interest along the street frontage.
2. Landscaping shall occur at the entries, as illustrated in Figures 5-1 and 5-2, to identify the points of entry and set the tone for the project development.
3. Pedestrian access points and safe street crossings shall be provided to adjacent land uses.

4. Residential driveways shall not be permitted on community collector streets.
5. Interior and exterior walls shall compliment the architectural theme of the project site. Wood fencing and chain link fencing are not permitted. (Figure 5-3)
6. The Community Block Wall shall be offset between pilasters. Landscaping will also be provided to create visual interest. (Figure 5-4)

5.2.2 Architectural Guidelines

Public Architecture (Walls, Entry Statements, Streetscapes)

The intent of the RP-D-4 planning area is to provide for a unifying element and to provide a cohesive neighborhood in the design of the public architecture. The perimeter major arterial roadways shall contain an additional landscaped parkway of 20 feet. Residential building setbacks from these roadways shall be a minimum of 35 feet from the street right-of-way line. Fences or walls will be located no closer than 20 feet from the right-of-way except that they may be less than 20 feet if the overall average setback totals 20 feet.

The design of streetscapes shall be a coordinated effort. The initial landscape palette shall be used for the development of subsequent streetscapes in order to obtain the visual uniformity and cohesiveness. It is not the intent to restrict variation in landscape design but to create a feeling of connection throughout the RP-D-4 Planning Area.

Residential Component

The architecture within The Terra Lago project needs to respond to the Coachella Valley environment. The design and orientation of residential units needs to capture the magnificent views that surround the project area and also the views created by amenities within the project such as golf fairways, water features, etc.

Climate considerations are a major consideration found in the architecture of our desert region. Attention needs to be given to orientation of windows and doors due to the sun. Consideration of building materials, wall surfaces, shading, window coverings, etc. are design features that are an important part of the architectural integrity of a project. These and other design considerations can be accommodated by a variety of architectural styles using a variety of construction materials.

Architectural Theme

The desired architectural style of the project is contemporary desert based on early California Mission, Spanish, Adobe, Santa Fe, southwest and similar themes found in the Indio area.

Acceptable Building Materials

1. Stucco (hand smoothed or vertical-raked textures preferred).
2. Masonry: Flagstone, Spanish style brick, split faced block, or fluted, split faced block.
3. Wood: Exposed, heavy timber, rough sawn beams, glu-laminated beams and peeler poles with stain finishes (transparent or opaque)

4. Glass Block.

Color
The general color scheme shall be a range from off-white to medium earth tones. Wood shall be stained using medium to dark earth tones and complementary southwest colors (aqua, teal, terra cotta, white wash, lavender, turquoise, burnt sienna and similar earth tones).

Roof Material
Hip, gable and shed roof designs or combinations thereof consistent with the general architectural theme are acceptable and encouraged. Acceptable roofing materials for pitched roofs, includes clay tile. Where clay tile materials are used, a multi-hued mixture of earth tones (terra cotta, buff, olive, and similar tones) shall be used.

Although the use of clay tile is recommended throughout, it is not specifically required for secondary or service building roofs provided other roof designs are not incompatible with the general architectural theme.

Equipment Screening

Roof mounted mechanical equipment is prohibited on residential structures. Roof mounted equipment is permitted on flat roofs for residential structures if screened from view by parapet designed to be compatible with the architecture, materials and color of the building.

Lighting

The light source shall not direct light skyward, and shall be arranged to reflect light away from adjoining properties. Up-lighting in landscaping, low level walk lights and lighting diffused off wall surfaces is encouraged. (Figure 5-5)

Walls and Fences

All interior private walls and fences shall complement the architecture and perimeter walls as illustrated in Figure 5-6. The height of walls and fences shall match the perimeter walls and shall not conflict with the corner cut-off area as defined by the City. Wood and chain link material is prohibited.

Monument Signs and Mail Box Stands

Monument sign at the project entryways shall have lettering sized per local codes, engraved in sand stone or other soft natural rock formation surrounded by the same architectural elements. Signs shall be lit from the ground. Mail box stands shall be of regulation height, made of concrete textured, sloped and colored the same that complement the architecture, with the mail compartment completely embedded. Community mail boxes shall be designed to meet postal standards. They shall be in an enclosure that complements the project theme and architecture.

Vacation Club Location (VOU Component)

The key element needed to support the existence of a vacation club location within this project is providing direct accessibility to golf. The idea of providing multiple courses available to guests is highly desirable in the Coachella Valley.

The approved vacation club location has been designed to blend into and become part of the overall environment proposed by the Project Master Plan. The vacation club site is located within the interior

of the project, not near perimeter roadways, making the guests feel like a part of the community during their stay. This location will also create less visual impact from the public right of way.

Golf Course Component

The Golf Course is the focal point of development and includes two championship par 72 golf courses each approximately 7,200 yards in length. Named Landmark Golf Club this 36-hole desert oasis was created for professional golf events by Schmidt Curley Design to promote spirit and competition of the game of golf. The design of the courses meld traditions of golf with the power of the land through a variety of landforms, steep slopes, three refreshing lakes, different soil types, rolling sand dunes and natural desert vegetation. Water features create dramatic and challenging holes for the amateur as well as the professional golfer. Dramatic views of the valley along with the picturesque Indio Hills combine to provide the golfers with a unique golfing experience.

Although the Golf Course has been completed and the majority of holes will remain unchanged, future residential development will require some relocation of golf holes within the North and South Courses.

5.3 Landscape Design Guidelines

The purpose of the landscape design guidelines is to establish landscape standards that will contribute to the thematic development of the Terra Lago community identity. Important to the development of a coordinated project image and identity are the project-wide enhancement of major arterials, collector streets, interior streets, and entries. These elements are designed to establish levels of hierarchy that will provide a varied and high quality experience at the pedestrian and vehicular level within the project.

The development of the project identity focuses on the following areas:

- The unification of all structural elements of the plan in order to present a coordinated project image;
 - Incorporation of building and plant materials compatible to the project area in order to develop a project image that is not only unique for Terra Lago, but that blends harmoniously with the surrounding environment;
 - To provide enhanced entries, intersections and circulation pattern; and
 - To provide each Developer the opportunity to create an individualized project identity within the overall project framework.
- Figure 5-1 provides a general plant palette for use within the RPD-4 planning area. Landscaping within the planning areas and the Terra Lago Project is to provide the look of quality while providing a water efficient design. This will be accomplished by adhering to the following guidelines:
- Plant materials selected for both their drought tolerance as well as their aesthetic quality.
 - Blending use of water efficient and lush appearing materials for maximum visual impact with minimum water usage.

- The design of irrigation systems to maximize water efficiency, e.g., drip irrigation in shrubs and trees not in turf areas, deep root irrigation for trees to keep root systems away from structures and hardscape, prevention of unnecessary overspray and runoff, and to develop strong plants capable of withstanding the wind that occurs in the Coachella Valley.
- Use of "weather station" monitoring to reduce irrigation during wet weather conditions.

5.3.1 Project Theme

The Terra Lago PMP focuses on developing images of the desert region that will complement the project site. The landscape theme seeks to develop the association by utilizing site design elements and materials that reflect the dramatic landforms that are the project background. The planting concept is designed to strengthen the basic fabric and overall theme of the development through the use of specific plant materials to define and reinforce street patterns, existing site conditions, and neighborhood identity.

5.4

Community Elements

The Landscape Plan consists of community elements that form the basic structure of the plan. Individually, the elements identify specific conditions of the plan and a coordinated landscape treatment. Collectively all elements are coordinated with the selection of building and plant materials that provide reinforcement of the overall project theme. These features consist of project entries, open space areas, streetscapes and community walls and fences.

5.4.1 Project Entry Treatments

Two entries are proposed within the Terra Lago project. These entries are as follows:

Golf Center Parkway

This entry will provide the initial opportunity for project identification. This entry feature will include water features, walls, signage, special paving and landscaping. The continuation of the main access road will lead to an enhanced intersection near the club house entry. This intersection will include special paving, detailed wall treatments, specimen trees and signage, that will identify access to the clubhouse, resort timeshare project and the Terra Lago Project (See Figure 5-1).

Special design features will reinforce the structure, form, and character of the entry access through utilizing of:

1. A water feature with surrounding landforms and rock features to enhance the entry;
2. Trees planted to reinforce the formal structure of the entry;
3. Accent trees planted in groups to provide color; and
4. Desert tolerant shrubs, ground cover and annuals planted to enhance and reflect the landscape forms.

- 5. Special wall details and signage
- 6. Ornamental Street Lighting

Avenue 44 Entry Treatment (See Figure 5-2)

This entry will provide the initial opportunity for project identification off of Avenue 44. This entry will include a bridge with, enhanced paving, accent trees, accent plants, special wall treatments and landscaping.

Neighborhood Street Monumentation Treatments

Neighborhood entries will be provided at intersections into the residential neighborhoods. The entry features consist of signage walls with special stone treatment, lighting and landscaping.

5.4.2 Open Space

Figures 5-8 through 5-13 identify the primary open space elements within the proposed project. Open space, as it is referred to in these exhibits, identifies substantially undeveloped areas where the proposed use of that area would vary from an entirely natural (least intensive – undisturbed) use of open space to an active (most intensive – golf course) use of open space.

5.4.3 Streetscapes

The street landscape concept is developed to correspond to the hierarchy of the main circulation corridors in The Terra Lago PMP. The concept seeks to provide a varied experience that reflects the project's desert landscape theme character.

The Spine Road (i.e. major collector street - Figure 5-14)

The street landscape concept will promote water efficiency by utilizing water efficient plants with drip irrigation to provide a varied experience that reflects the project's desert landscape theme character. Canopy trees will be used giving the street a boulevard effect, and also incorporate a colorful mix of groundcovers and accent shrubs to create a harmonious street frontage.

Residential Interior Street Streetscape

General residential streets within Terra Lago (Figures 5-15) are designed to connect with Golf Center Parkway and Avenue 44. It is the design intent to allow individual project identity development beyond the neighborhood entry and within each of the planning areas only. Street trees will be used to define the neighborhood and provide shade. Landscape plant material utilized within the areas shall be drought tolerant landscape materials. Large amounts of turf areas should be limited to community open space.

5.4.4 Green Court Lots

The landscape concept for the Green Court Lots in Planning Area 12 (Figure 5-16) will incorporate a colorful mix of water efficient groundcovers, groupings of shrubs, and canopy trees that will provide shade. Small areas of turf will be incorporated that will provide a varied and high quality experience at the proposed pedestrian level.

5.4.5 Walls and Fences

The purpose of wall and fences is to assist in the establishment of project identity and complement the architectural character of the development. The proposed perimeter walls are designed to alleviate noise from adjacent land uses. A buffer area of trees and shrubs will be planted in conjunction with walls to provide additional screening at sensitive areas. The wall and fence plan for the proposed project is depicted on Figures 5-3 and 5-4. All perimeter walls will be constructed at the time of development as identified in the anticipated phasing plan.

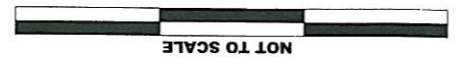
The Community Frontage Wall will be a slump stone with a slurry finish, stone inset and stone pilasters. The Community Block Wall will be a slump stone with a slurry finish and graffiti resistant painted finish with pilasters that have a rounded mortar caps. The view fence will be wrought iron with pilasters. All walls shall not exceed six (6) feet in height. Chain link fence, wood fence and barbed wire are prohibited.

All fencing and walls are to be provided by the builder(s) of each Planning Area at the time of development and as approved by the City at time of submittal. Perimeter project walls are to be built as each area of the project is developed. All walls on individual lots shall complement the architecture of the project.

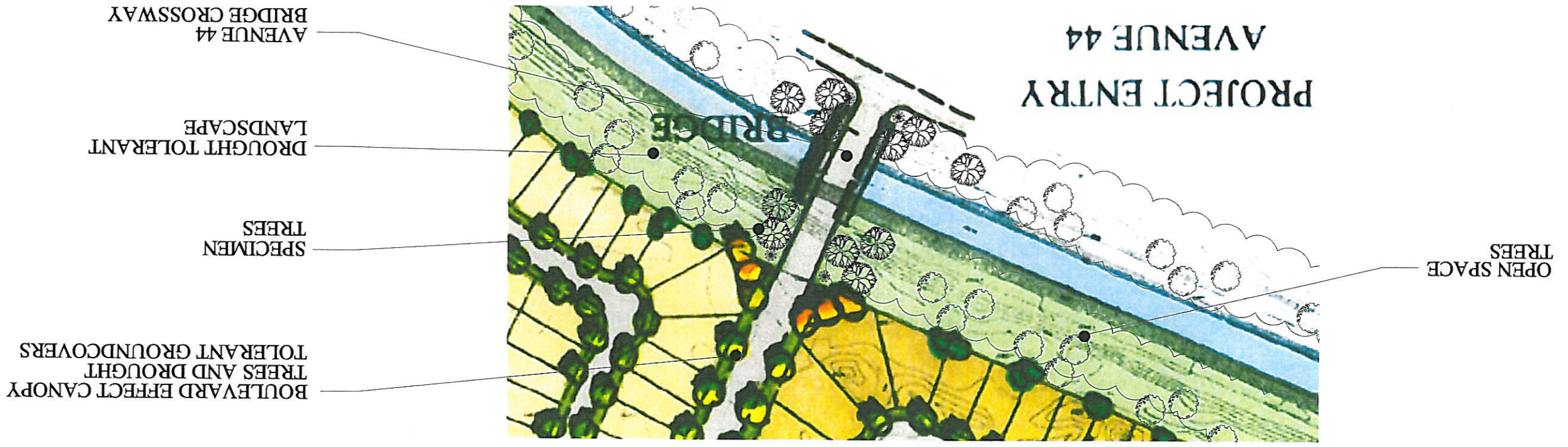
STREETSCAPES - AVENUE 44 ENTRY



Figure 5-1



PLAN VIEW - AVENUE 44 ENTRY
SCALE: N.T.S.



STREETSCAPES-CLUBHOUSE ENTRY INTERSECTION

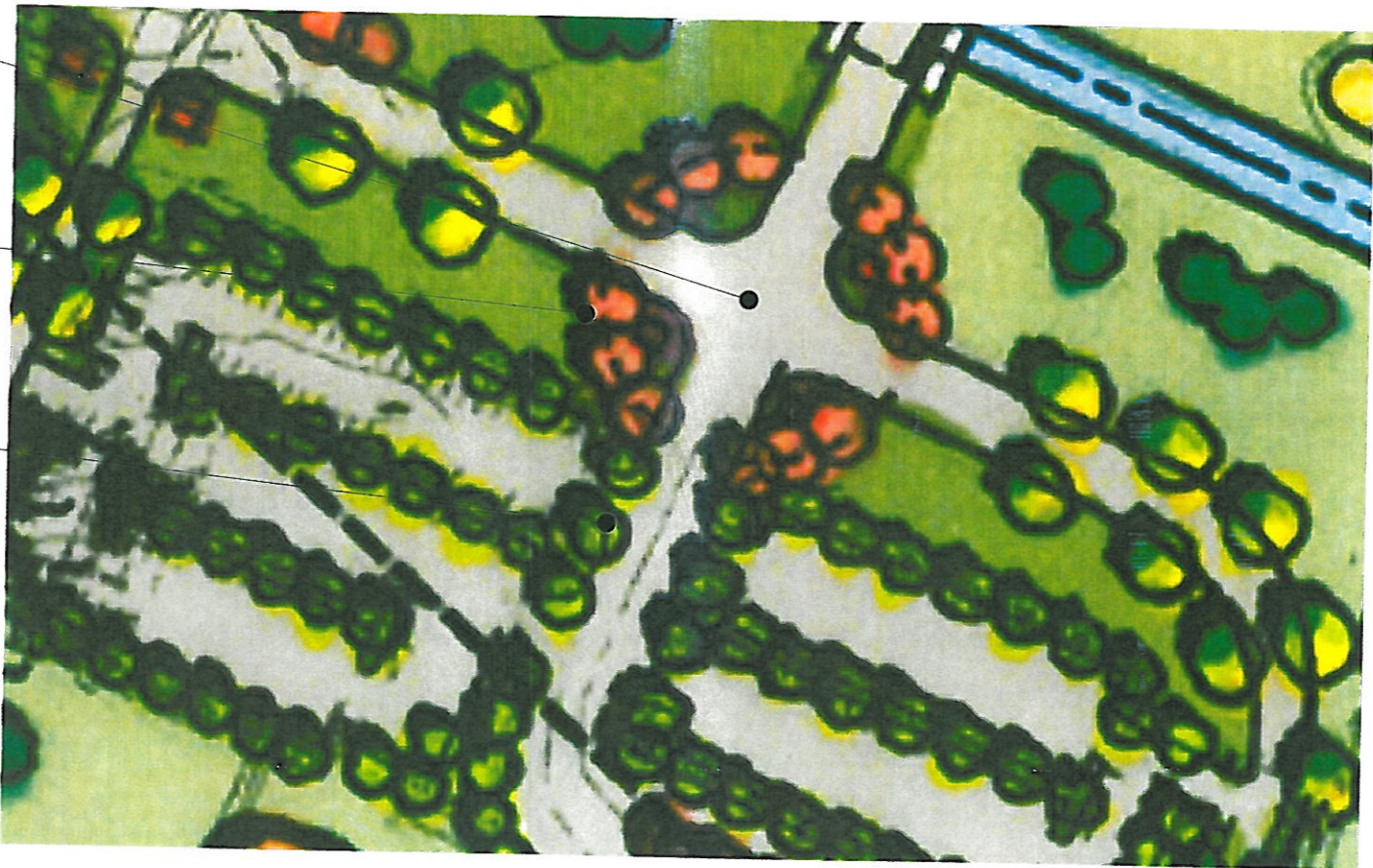


Figure 5-2

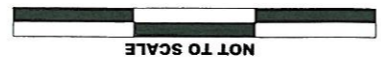


PLAN VIEW - CLUBHOUSE ENTRY INTERSECTION
SCALE: N.T.S.

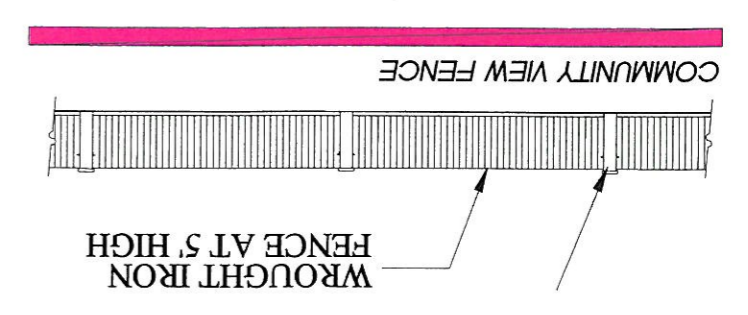
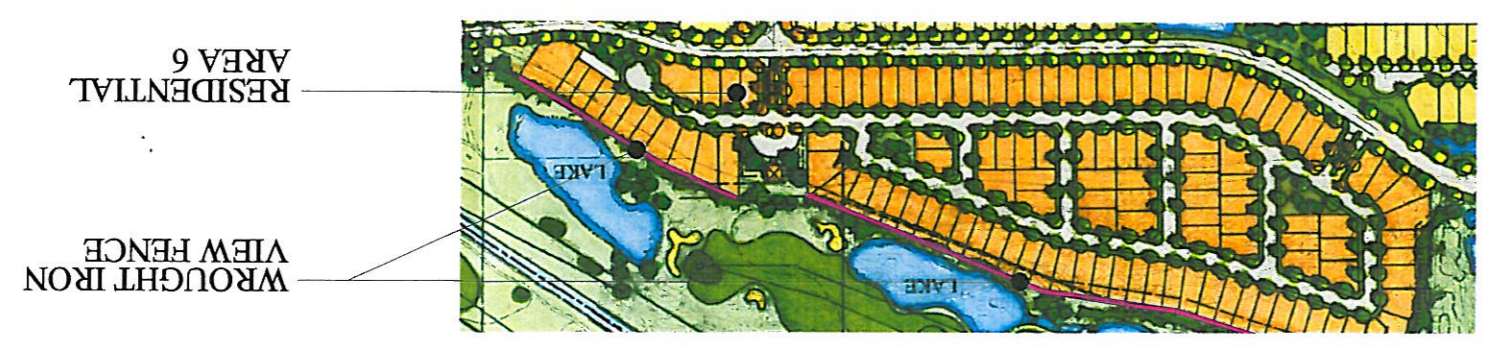
- BOULEVARD EFFECT CANOPY TREES AND DROUGHT TOLERANT GROUNDCOVERS
- DROUGHT TOLERANT LANDSCAPE WITH SPECIMEN TREES
- ENTRY TO CLUBHOUSE INTERSECTION



SITE FEATURES-FENCE AT GOLF COURSE EDGE



PLAN VIEW - FENCE AT GOLF COURSE EDGE
SCALE: N.T.S.



SITE FEATURES-PERIMETER WALLS



Figure 5-4



SCALE: N.T.S.

PLAN VIEW - PERIMETER WALLS

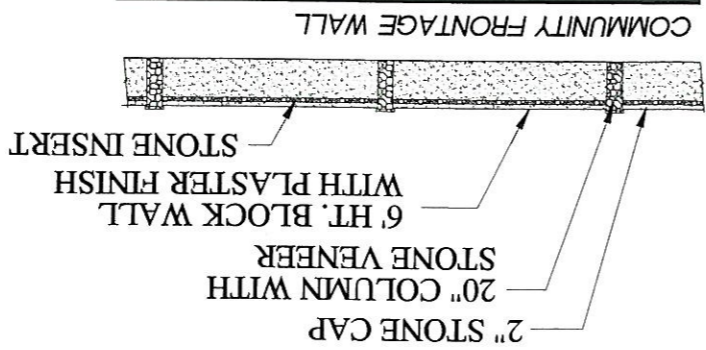
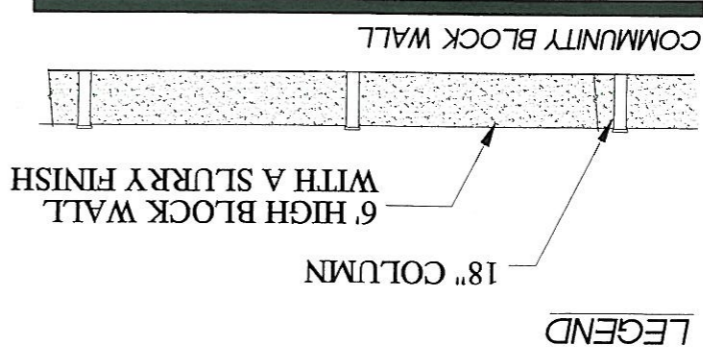


COMMUNITY BLOCK WALL
PERIMETER FRONTAGE

RESIDENTIAL AREA 10
RESIDENTIAL AREA 11
COMMUNITY BLOCK WALL
PERIMETER FRONTAGE



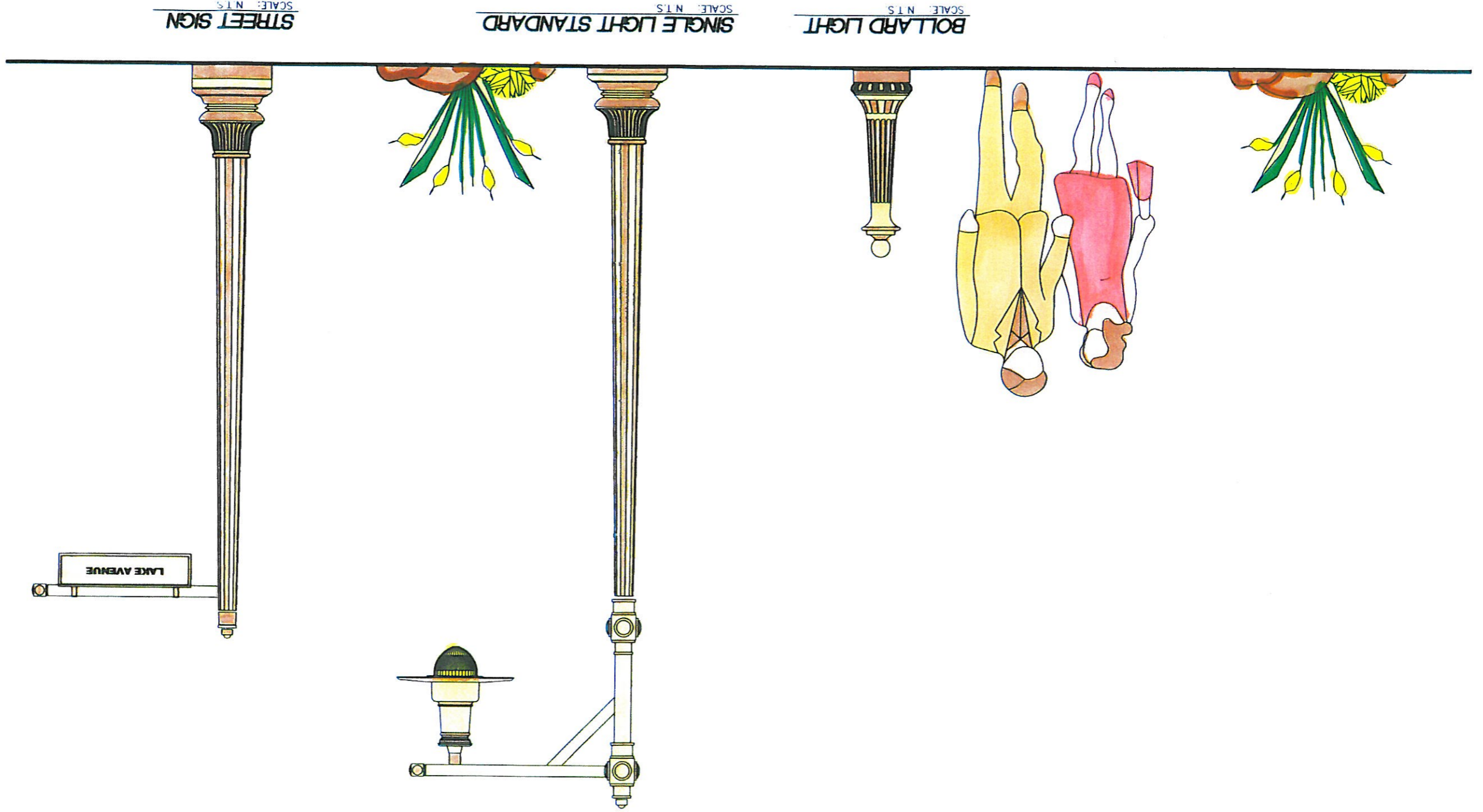
GOLF COURSE
RESIDENTIAL AREA 6
PERIMETER FRONTAGE
BLOCK WALL



SITE FEATURES-STREET LIGHTING

The Keith Companies
TKC

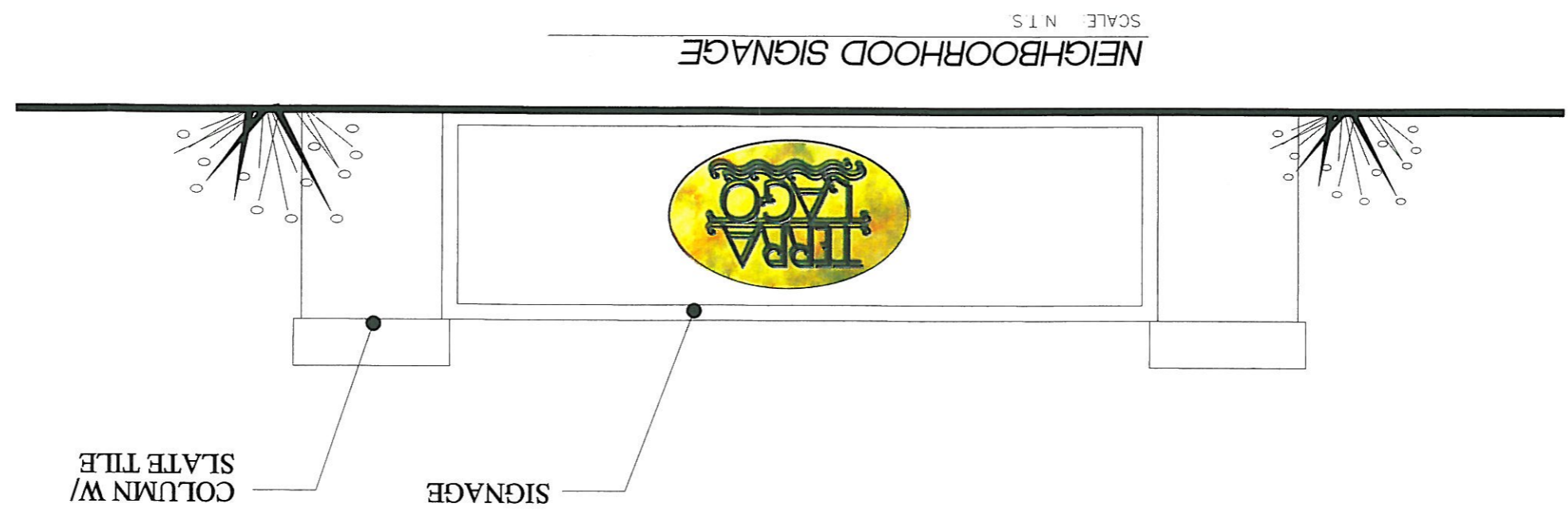
Figure 5-5



SITE FEATURES-NEIGHBORHOOD SIGNAGE



Figure 5-6



SITE FEATURES-BRIDGES

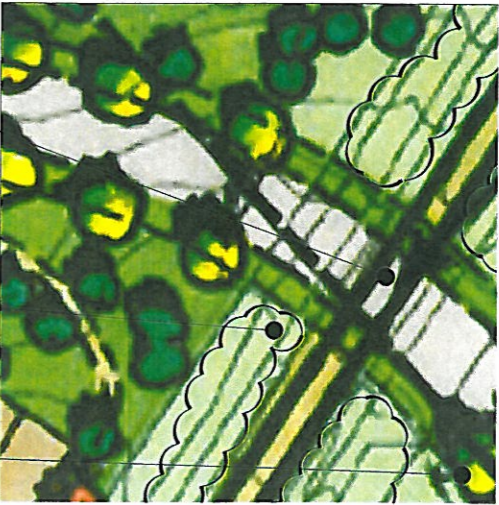
Figure 5-7



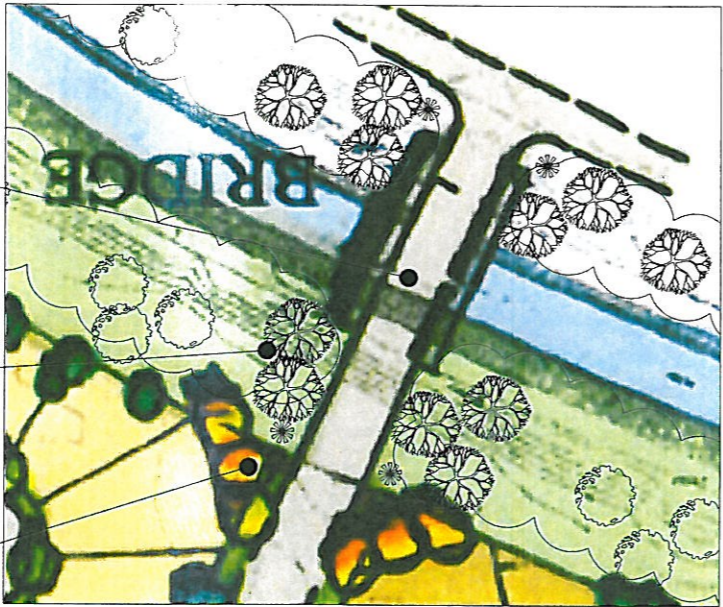
PLAN VIEW - BRIDGES



- SHADE CANOPY TREES W/ DROUGHT TOLERANT PLANT MATERIAL AND COLORFUL GROUNDCOVERS
- BRIDGE AT MAJOR COLLECTOR STREET
- BOULEVARD EFFECT CANOPY TREES AND DROUGHT TOLERANT GROUNDCOVERS



- BOULEVARD EFFECT CANOPY TREES AND DROUGHT TOLERANT GROUNDCOVERS
- SHADE CANOPY TREES W/ DROUGHT TOLERANT PLANT MATERIAL AND COLORFUL GROUNDCOVERS
- BRIDGE AT DRAINAGE CHANNEL CROSSWAY

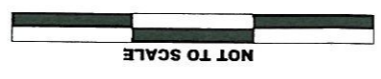


- ACCENT CANOPY TREES W/ COLORFUL GROUNDCOVERS
- SHADE CANOPY TREES W/ DROUGHT TOLERANT PLANT MATERIAL AND COLORFUL GROUNDCOVERS
- BRIDGE AT AVENUE 44 ENTRY

OPEN SPACE-GOLF COURSE INTERFACE



Figure 5-8



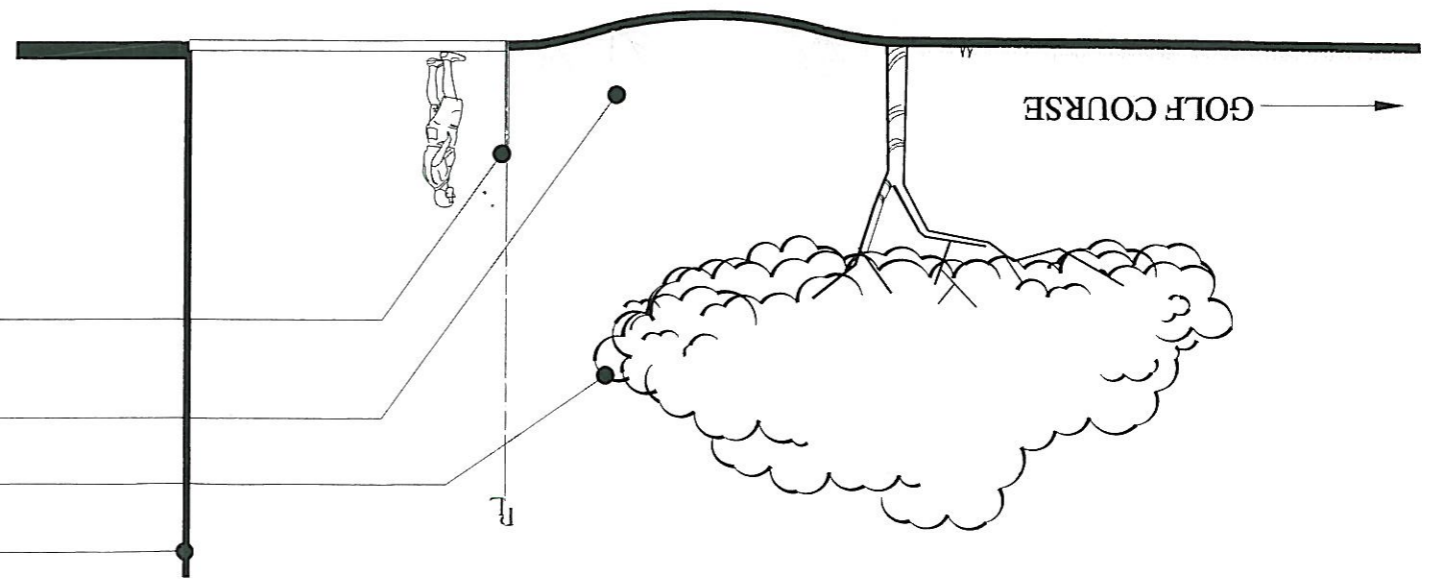
PLAN VIEW - GOLF COURSE INTERFACE
SCALE: N.T.S.

- RESIDENTIAL AREA
- WROUGHT IRON VIEW FENCE
- PROVIDE VIEW CORRIDORS
- CANOPY TREES AND DROUGHT TOLERANT PLANT MATERIAL
- GOLF COURSE



SECTION - GOLF COURSE INTERFACE
SCALE: N.T.S.

- RESIDENTIAL UNIT
- CANOPY TREE
- 3'-4' LANDSCAPE BUFFER
- WROUGHT IRON FENCE



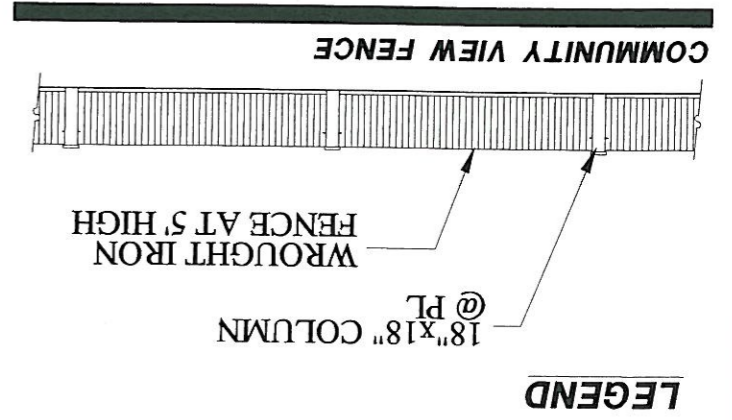


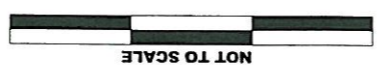
OPEN SPACE-PROJECT PERIMETER AT DIKE

PLAN VIEW - RESIDENTIAL PROJECT PERIMETER AT DIKE
SCALE: N.T.S.



- DIKE
- WROUGHT IRON VIEW FENCE
- RESIDENTIAL AREA 12
- OPEN SPACES WITH LAWN AND DROUGHT TOLERANT GROUNDCOVERS
- OPEN WROUGHT IRON FENCING
- GOLF COURSE



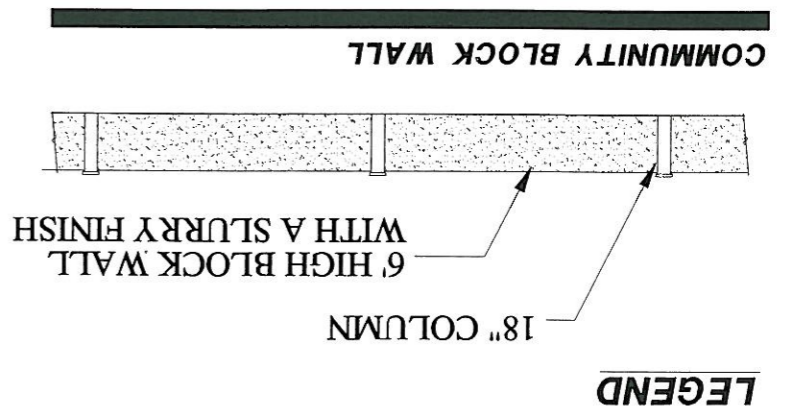
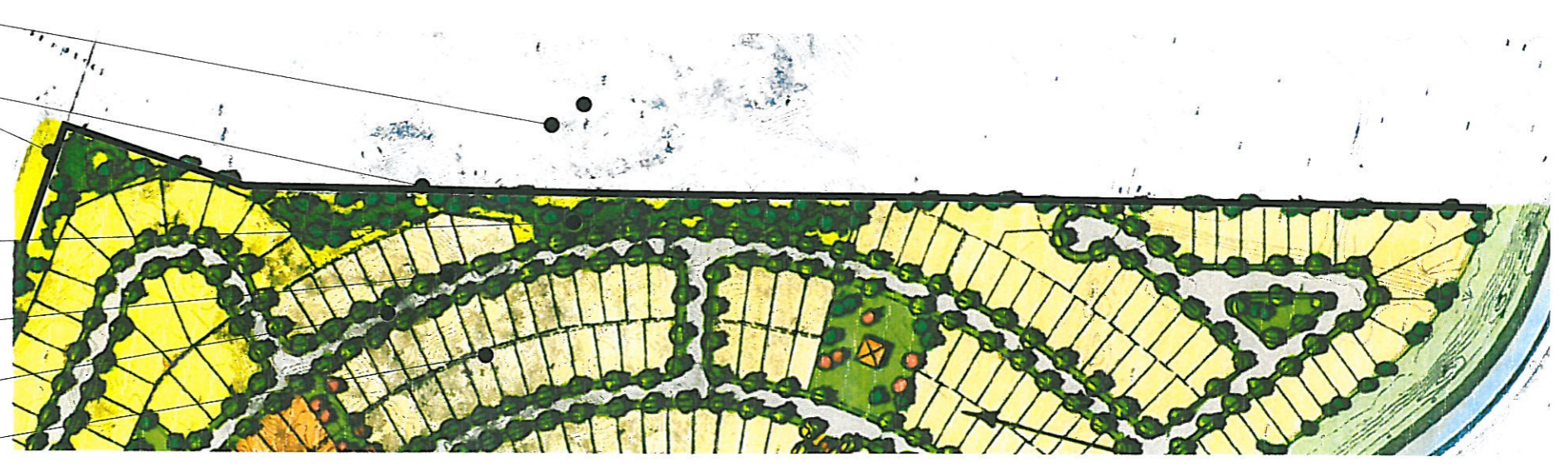


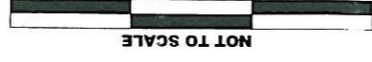
OPEN SPACE-PROJECT PERIMETER AT SCARDIGLI

SCALE: N.T.S.

PLAN VIEW - PERIMETER AT SCARDIGLI

- RESIDENTIAL AREA 10
- RESIDENTIAL STREET
- BOULEVARD EFFECT
CANOPY TREES
- SHADE CANOPY TREES W/
DROUGHT TOLERANT
PLANT MATERIAL AND
COLORFUL GROUNDCOVERS
- PERIMETER BLOCK WALL
- SCARDIGLI PROJECT





OPEN SPACE-PROJECT PERIMETER AT CHANNEL

PLAN VIEW - PROJECT PERIMETER AT CHANNEL
SCALE N.T.S.

- CHANNEL
- OPEN SPACES WITH LAWN AND DROUGHT TOLERANT GROUNDCOVERS
- CANOPY TREES
- GOLF COURSE



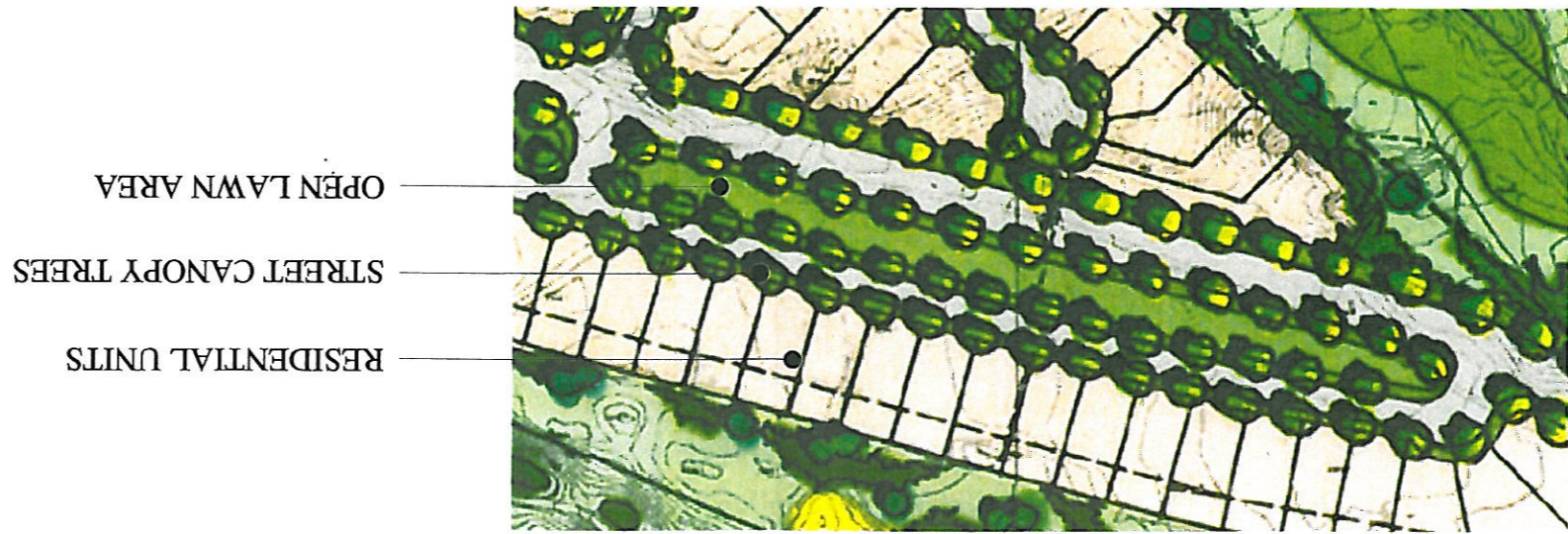


OPEN SPACE-RESIDENTIAL PLANNING AREA 10

PLAN VIEW - RESIDENTIAL AREA 10 OPEN SPACE 2
SCALE: N.T.S.



PLAN VIEW - RESIDENTIAL AREA 10 OPEN SPACE 1
SCALE: N.T.S.





OPEN SPACE-RESIDENTIAL PLANNING AREA 12

PLAN VIEW - RESIDENTIAL AREA 12 OPEN SPACE
SCALE: N.T.S.

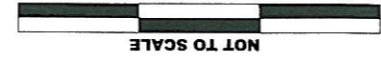
- RESIDENTIAL UNITS
- OPEN WROUGHT IRON FENCINC
- STREET CANOPY TREES
- OPEN SPACES WITH LAWN,
PEDESTRIAN WALKWAY,
DROUGHT TOLERANT
GROUNDCOVERS AND
SHADE CANOPY TREES



STREETSCAPES-MAJOR COLLECTOR STREET



Figure 5-14



PLAN VIEW - MAJOR COLLECTOR STREET

SCALE: N.T.S.

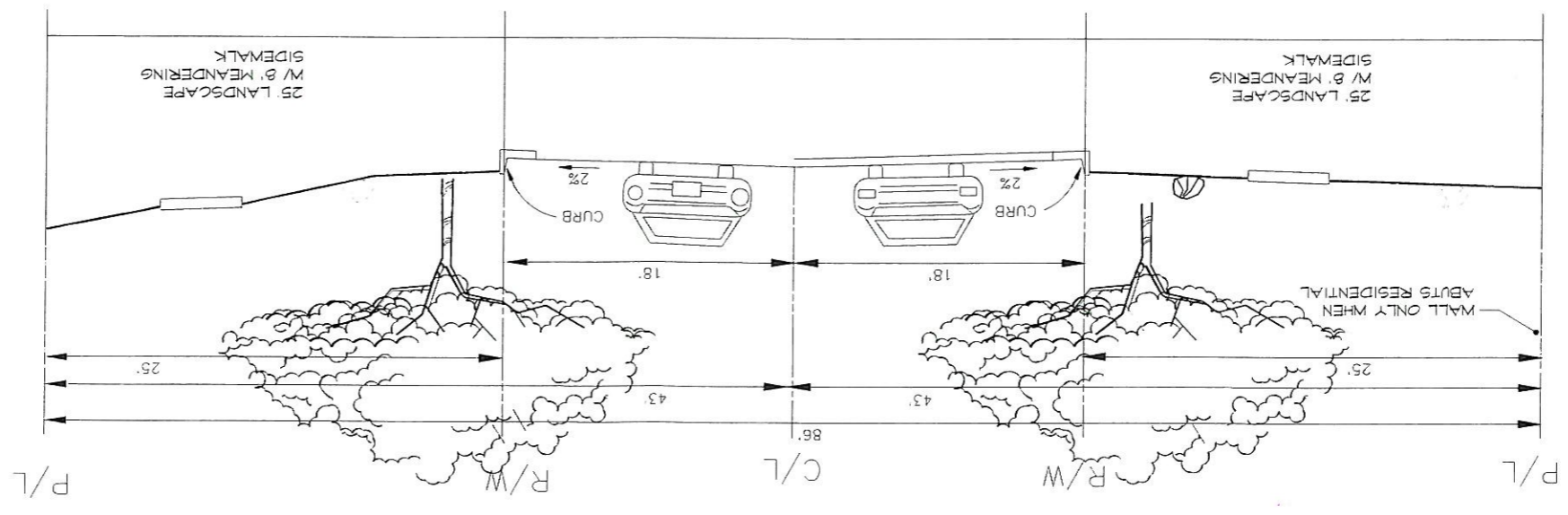


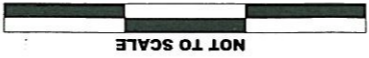
MAJOR COLLECTOR STREET

DROUGHT TOLERANT
LANDSCAPE WITH
SPECIMEN TREES

SECTION - MAJOR COLLECTOR STREET

SCALE: N.T.S.

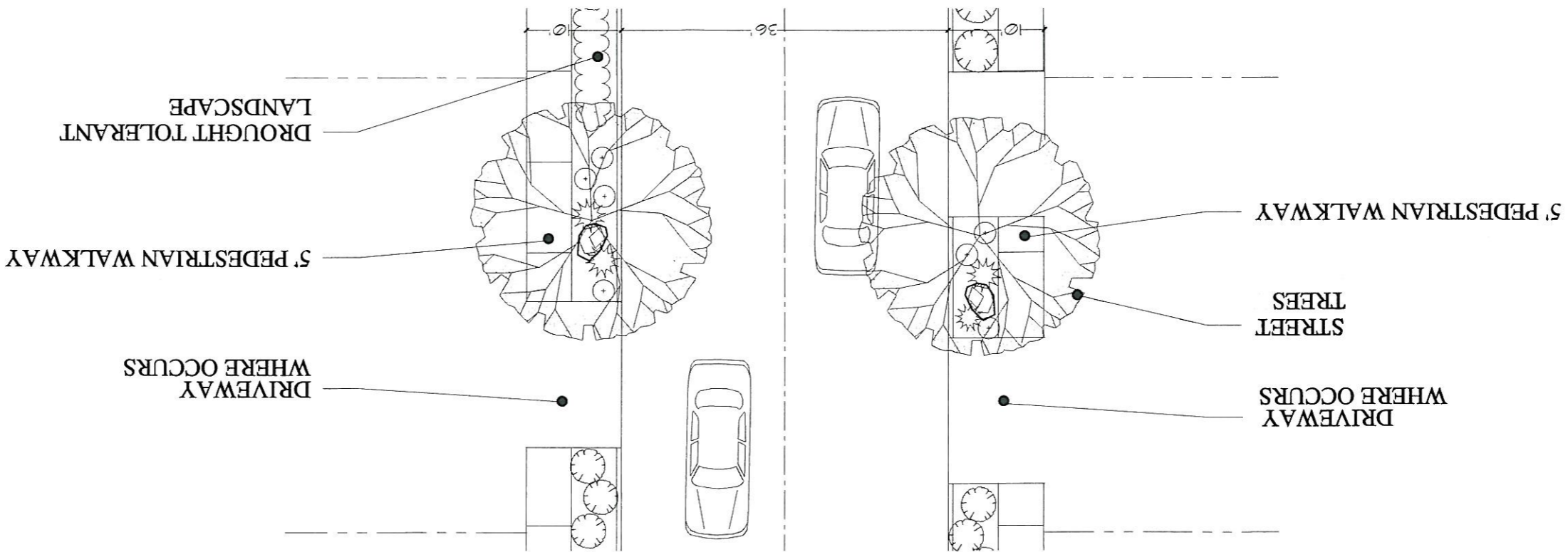




STREETSCAPES-GENERAL RESIDENTIAL

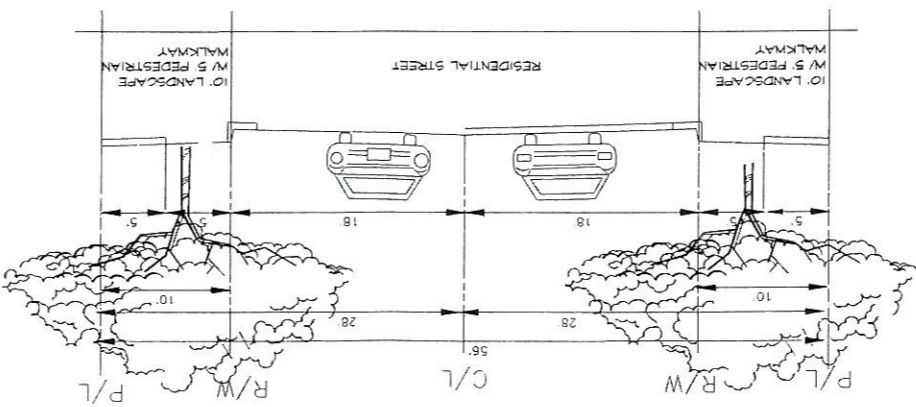
PLAN VIEW - RESIDENTIAL

SCALE: N.T.S.



SECTION - RESIDENTIAL

SCALE: N.T.S.



50' WIDE GREEN COURT LOT - PLANNING AREA 12

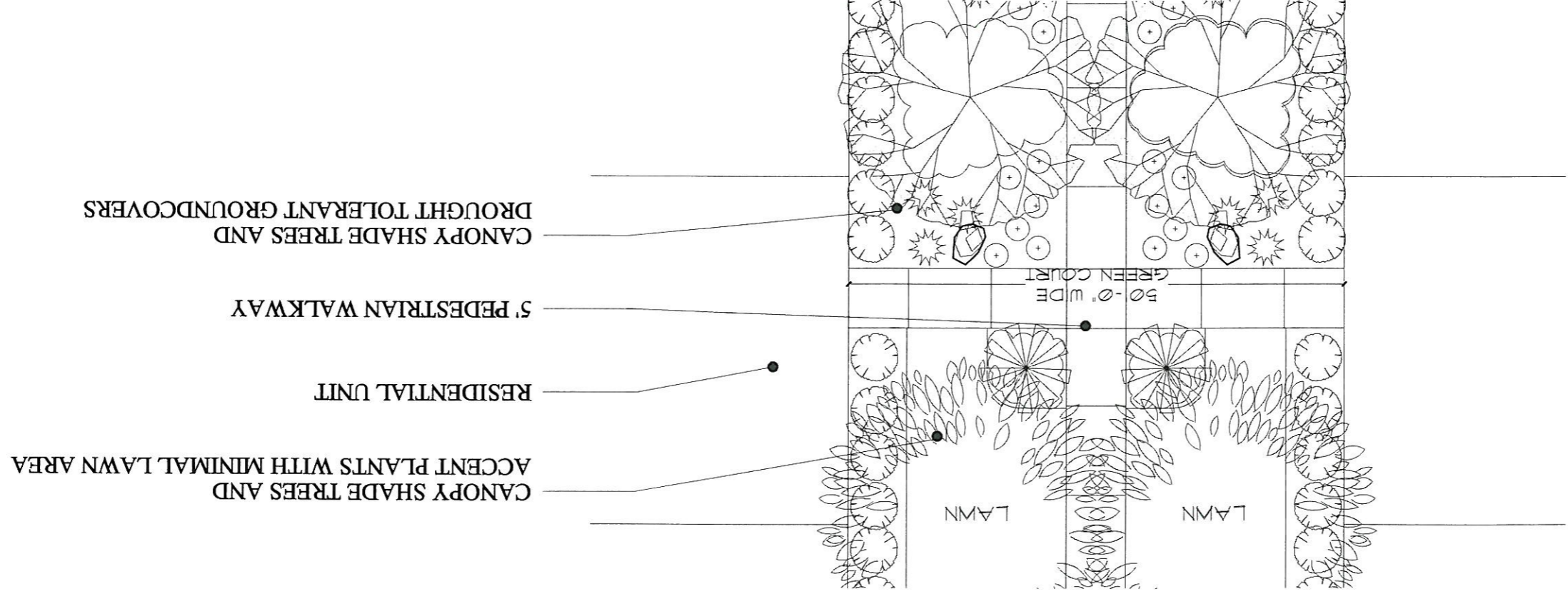


Figure 5-16



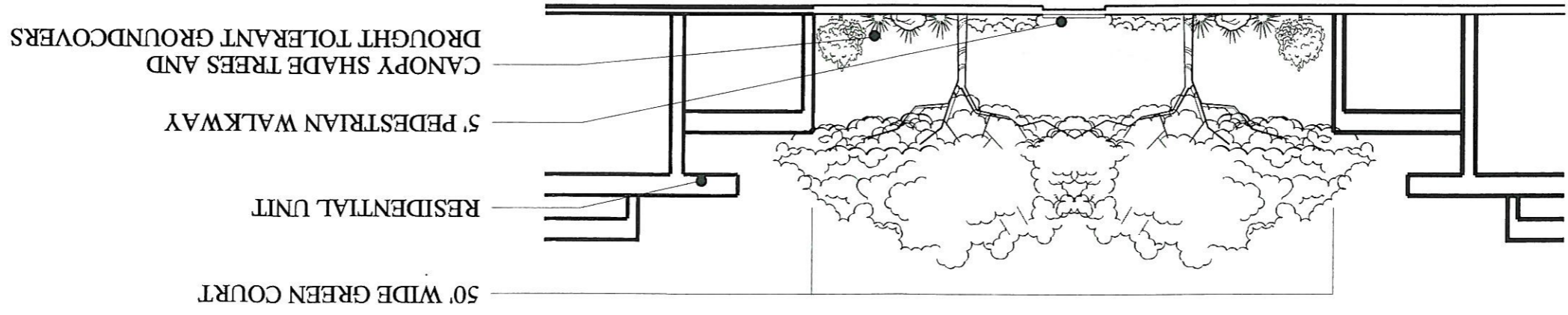
PLAN VIEW - RESIDENTIAL AREA 12

SCALE: N.T.S.



SECTION - RESIDENTIAL AREA 12

SCALE: N.T.S.



5.5 Landscape Plan Preparation

Landscape and irrigation plans for landscaped lots, Recreation Center, streetscapes, entry treatments and perimeter area lake edges and parks/retention basin shall be prepared by a licensed landscape architect. Landscape and irrigation plans shall be approved by the Development Services Department. The applicant shall submit landscape and irrigation construction plans to the Public Works Department for review and approval. The plans are not approved for construction until they have been approved and signed by City staff and the Riverside County Agricultural Commissioner. Landscape areas shall have permanent irrigation improvements meeting the requirements of the City Engineer. The applicant shall ensure that landscaping plans and utility plans are coordinated to provide visual screening of above-ground utility structures.

5.6 Plant Palette

Table 5-1 provides a general plant palette for the Terra Lago project. The goal for the landscaping within the project site is to provide the look of quality while providing a water efficient design. All plant materials should be selected for both their drought tolerance and their aesthetic qualities. Landscaping should blend use of water efficient and lush appearing materials for maximum visual impact with minimum water usage. The design of all irrigation systems to maximize water efficiency, drip irrigation in shrubs and trees not in turf areas, deep root irrigation for trees to keep root systems away from structures and hardscape, prevention of unnecessary overspray and runoff, and to develop strong plants capable of withstanding the wind.

Table 5-1
RECOMMENDED PLANT MATERIAL PALETTE

BOTANICAL NAME	COMMON NAME
PALMS	
Butia capitata	Pindo Palm
Chamaerops humilis	Mediterranean fan palm
Washingtonia Filifera	California fan palm
TREES	
Citrus	Citrus sp.
Acacia Salicina	Willow acacia
Acacia smallii	Sweet acacia
Cercidium floridum	Palo verde
Cercidium paracox	Sonoran palo verde
Eucalyptus papuana	Ghost gum
Fraxinus udei "Majestic Beauty"	Evergreen ash
Quercus virginiana	Southern live oak
Prosopis chilensis (thornless)	Thornless Chilean Mesquite
Schinus molle	California pepper tree
Ulmus parvifolia	Evergreen elm
ACCENTS / GRASSES	
Beaucarnea recurvata	Ponytail palm
Dasyliiron longissima	Mexican grass tree
Dashiron whelleri	Desert spoon
Nolina nelsoni	Blue nolina

Muhlenbergia lindheimeri	Autumn Glow
Muhlenbergia rigens	Dear Grass
SHRUBS	
Bougainvillea sp.	Bougainvillea
Caesalpinia pulcherrima	Red Bird of Paradise
Carissa g. 'Boxwood Beauty'	Boxwood Beauty Natal Plum
Cassia artemesoides	Desert cassia
Cassia nemophila	Bushy senna
Chrysactinia mexicana	Damianita
Dodonaea viscosa	Hopsad bush
Fouquieria splendens	Octillo
Hesperaloe parviflora	Red hesperaloe
Leucophyllum sp.	Texas ranger
Nerium oleander 'Petite Pink'	Dwarf oleander
Opuntia sp.	Opuntia
Penstemon sp.	Penstemon
Ruellia peninsularis	Desert ruellia
Salvia greggii	Red salvia
Salvia leucantha	Mexican bush sage
Thevetia peruviana	Yellow oleander
Tecoma stans v. angusta	Yellow bells
Yucca recurvifolia	Yucca pendula
VINES AND GROUNDCOVER	
Calliandra inaequilatera	Pink Powder Puff
Oenothera berlandieri	Mexican evening primrose
2" Depth Desert Gold	Decomposed Granite
2'-4' dia. Cresta Boulders	
Desert Gold	2" depth
2' - 4' dia. Cresta Boulders	
Sod	
Hybrid Bermuda	

6.0 IMPLEMENTATION PROGRAM

6.1 Implementation Program

An Implementation Program is hereby established to meet the goals of the project. The program contains a number of legal, procedural and administrative elements. The purpose of this section is to familiarize the City, agencies and decision-makers as well as interested citizens with the applicant's goals and intentions for the project. The requirements and procedures for meeting the Implementation Program goals will be processed concurrently. Upon adoption of the Project Master Plan (PMP) and Mitigated Negative Declaration, the Implementation Program will summarize the requirements listed in this section for the developer(s) in developing within the Terra Lago Project area.

6.2 Summary of Implementation Program

According to Government Code 65451 of the California Planning Law, Project Master Plan shall include a program for implementation including regulations, conditions, programs and additional measures as necessary to carry out the plan. In response to this requirement, the Implementation Program for The Terra Lago PMP and Mitigated Negative Declaration of the following:

1. Adoption (by ordinance) and Administration of the PMP
2. Mitigated Negative Declaration
3. Grading Plan/Improvement Plans
4. Financing Mechanisms
5. Ongoing Maintenance

1. Adoption (By Ordinance) and Administration of Project Master Plan (Including Minor Changes)

The Terra Lago PMP will be adopted by ordinance of the City of Indio City Council. Adoption of the PMP defines land use and development standards for the project area which shall supersede current zoning regulations.

Specific land use regulations are designed to be implemented in conjunction with the City of Indio Zoning Ordinance. In the event regulations and standards are not specified within the PMP document, the provisions of the City of Indio shall be used to regulate that specific element of the development. The City shall enforce the provisions of the Terra Lago Project Master Plan, and City Zoning and Subdivision Codes for all Planning Areas located within the PMP.

2. Environmental Review and Monitoring Program

An Environmental Assessment (EA) is being prepared for the proposed project according to the requirements of the CEQA. The EA will address the potential environmental effects of the proposed project, as well as measures to effectively mitigate significant impacts. As the lead agency under CEQA, the City will review the EA and certify it as adequate before approval of the Project Plan by the City Council.

3. Grading Plan

A mass grading plan(s) will be submitted to the City for approval with the Master Tentative

Tract Map. Approval of a mass grading(s) plan will allow the developer(s) to begin grading the site for development of the individual tentative maps. A National Pollution Discharge Elimination System (NPDES) approval will be required prior to approval of mass grading plan(s). Improvement plans such as street, water, sewer and drainage plans will need to be submitted to the City of Indio and all affected agencies for review and approval prior to issuance of a mass grading permit(s).

4. Financing Mechanisms

The major infrastructure and facilities within the PMP and offsite areas will be financed through appropriate funding mechanisms acceptable to the City of Indio, which may include private and/or developer(s) financing; community facilities district(s); the formation of one or more assessment district(s); the application of funds from City, County, State and other agency programs; and/or other financing mechanism accepted by the City.

5. Ongoing Maintenance

Successful operation of maintenance districts and associations shall be an important in maintaining the quality of The Terra Lago PMP. It is anticipated that ongoing maintenance responsibilities may be divided among a Master Homeowners' Association, Neighborhood Association or similar financing mechanism.

Master Homeowners' Association

Common areas identified in the PMP shall be owned and maintained by a permanent private master homeowners' association to assume ownership and maintenance responsibility for all common recreation, parks, pathways, open space, circulation systems and landscaped areas within the project.

Residential Neighborhood Associations

In certain residential areas of the project, smaller private neighborhood associations may be delegated to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Private roadway facilities may come under the jurisdiction of a neighborhood association. The neighborhood association(s) will be controlled by the master homeowners' association.

Project Roadways

All public roadways and private streets shall be designed and constructed to standards acceptable to the City of Indio. All public roadways will be entered into the City of Indio systems of roads and operation and maintenance as approved by the City. All other project roadways shall be maintained by a Master Homeowners' Association or a neighborhood association.

6.3 Architectural Review

The Master Homeowners' Association (HOA) shall review all structures, site layout, orientation, landscaping and hardscape for the potential Recreation Center in Planning Area 15.

Before any building or structure or landscaped area as described above is erected, constructed, altered, moved, remodeled or repainted a different color, the Master HOA shall review all architectural plans

and drawings showing the exterior elevations of sides, materials and colors and signage to be displayed. The Master HOA shall either approve, conditionally approve, or deny the project. In the event the Master HOA is not formed, the plans shall be reviewed and approved by the Director of Development Services Department.

6.4 Design Review

All residential development, the potential Recreation Center (within Planning Area 15), and all other above ground improvements, shall be subject to design review and Planning Commission approval. Applications shall be filed with the Director of Development Services Department for review and approval. The following information shall be included with each application:

- Name and address of applicant or authorized agent
- Address and legal description of property
- Plot plans and elevations, fully dimensioned, indicating the type and location of all buildings and structures, parking and landscape areas, and signs. Elevations shall be of sufficient detail to indicate the type and color of materials to be employed and methods of illumination for signs. Screening, landscape and irrigation plans shall be included.
- The Director of Development Services Department may require additional plans and/or information, if they are deemed necessary to determine if the application should be granted or denied.

A signage program shall be developed for the PMP area that addresses project identification, street identification, neighborhood identification and directional and information kiosks. This program shall be submitted for review and approval by the Director of Development Services.

6.5 Planning Commission Review

All subsequent development within the PMP (residential, the potential recreation center and all other above ground improvements), shall require design review and Planning Commission approval subject to this section. Revisions to entries and perimeter walls as illustrated in this PMP shall require design review and Planning Commission approval subject to this section.

6.5.1 Planning Commission Hearing

All applications noted under Section 6.5 shall be heard by the Planning Commission. The hearing on each application for design review and/or site development review shall be set and notice given as required by the City of Indio.

6.5.2 Action of Planning Commission

The Commission may grant approval, approval with conditions or deny the application. Approval may be granted for a limited time period, or may be granted to such conditions as the commission may prescribe. The Commission may impose conditions that are deemed necessary to insure compatibility of the use with surrounding developments and to preserve the public health, safety and welfare.

6.5.3 Appeals

A decision of the Planning Commission may be appealed to the City Council pursuant to Section 6.2

of this document. The decision of the City Council is final.